



Village of Hampshire
Village Board Meeting
Thursday, May 5, 2022 - 7:00 PM
Hampshire Village Hall - 234 S. State Street

AGENDA

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Public Comments
5. Approval of Minutes from April 21, 2022
6. Appointments
 - a. A Motion to Approve the Appointment of Hank Hoffman to a 5-Year Term on the Planning and Zoning Commission
7. Village Manager's Report
 - a. A Review of the Concept Plan for the Subdivision of the Hampshire 90 Logistics Park
 - b. An Ordinance Granting a Variance in the M-2 General Industrial Zoning District to Allow for Parking of Motor Vehicles on a Gravel Surface (Midwest Companies Site)
 - c. An Ordinance Proposing the Establishment of Special Service Area #28 (Stanley Property)
 - d. A Discussion of Zoning Regulations for Home Occupations (No Action Needed)
 - e. A Motion to Approve a Payment to Kane County Excavating for the Connection Water Main Project in the Amount of \$214,835.40
 - f. A Motion to Authorize the Purchase of a 2022 John Deere Wheel Loader from West Side Tractor at a Cost of \$163,100
 - g. A Motion to Authorize the Purchase of a 2021 Ram 5500 with Equipment from Henderson Products at a Cost of \$100,153
 - h. A Motion to Approve a Request for Reimbursement for a Sidewalk Repair Project at 239 Schmidt Dr. in the Amount of One-Third of the Lowest Bid, or \$1,291.67
 - i. A Motion to Modify the Façade Improvement Grant Award for the Hampshire Social Project at 124 S State Street, Increasing the Amount from \$55,563 to \$57,406.13
8. Monthly Reports
 - a. April Building Report
 - b. April Streets Report
9. Accounts Payable
 - a. A Motion to Approve the May 5, 2022 Accounts Payable to Personnel
 - b. A Motion to Approve the May 5, 2022 Regular Accounts Payable
10. Village Board Committee Reports
 - a. Business Development Commission

- b. Public Relations
- c. Public Works
- d. Budget

11. New Business

12. Announcements

13. Adjournment

Attendance: By Public Act 101-0640, all public meetings and public hearings for essential governmental services may be held by video or tele conference during a public health disaster, provided there is an accommodation for the public to participate, and submit questions and comments prior to meeting. If you would like to attend this meeting by Video or Tele Conference, you must e-mail the Village Clerk with your request no later than noon (12 PM) the day of the meeting. A link to participate will be sent to your e-mail address, including all exhibits and other documents (the packet) to be considered at the meeting.

Recording: Please note that all meetings held by videoconference will be recorded, and the recordings will be made public. While State Law does not required consent, by requesting an invitation, joining the meeting by link or streaming, all participants acknowledge and consent to their image and voice being recorded and made available for public viewing.

Accommodations: The Village of Hampshire, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the Village at 847-683-2181 to allow the Village to make reasonable accommodations for these persons.

REGULAR MEETING OF THE BOARD OF TRUSTEES
MINUTES
April 21, 2022

The regular meeting of the Village Board of Hampshire was called to order by Village Clerk Vasquez at 7:00 p.m. in the Village of Hampshire Village Board Room, 234 S. State Street, on Thursday, April 21, 2022.

Roll call by Village Clerk Vasquez:

Present: Heather Fodor, Arron Kelly, Toby Koth, Lionel Mott, Laura Pollastrini, and Erik Robinson.

Absent: Michael Reid

A quorum was established.

In addition, present in-person were Village Manager Jay Hedges, Finance Director Lori Lyons, Village Attorney Mark Schuster and Police Chief Brian Thompson. Also, present electronically: Tim Paulson - EEI

Trustee Pollastrini moved to appoint Toby Koth as Interim Presiding Officer.

Seconded by Trustee Kelly

Motion carried by roll call vote.

Ayes: Fodor, Koth, Mott, Pollastrini, and Robinson

Nays: None

Absent: Reid

Interim Presiding Officer Koth led the Pledge of Allegiance.

MINUTES

Trustee Fodor moved to approve the minutes of April 7, 2022, with changes on page 5 in the fourth paragraph from the bottom, it should read "final license agreement," and on page 11 under Public Relations, "announced" is misspelled.

Seconded by Trustee Pollastrini

Motion carried by roll call vote.

Ayes: Robinson, Mott, Koth, Pollastrini, Kelly, Fodor

Nays: None

Absent: Reid

Proclamation for Arbor Day

Interim Presiding Officer Koth read the proclamation and signed it.

Proclamation for Clerk's Week

Interim Presiding Officer Koth read the proclamation and signed it

VILLAGE MANAGER'S REPORT

A motion to award a façade improvement grant for the Hampshire Social project at 124 S. State Street, excluding the rear patio and privacy wall, at 75% of project costs up to \$47,943.

Bill Swalwell introduced Brandon Roberts who will be the new owner at this establishment

along with his partner Chris Jones.

Trustee Kelly confirmed that money for this grant would come out of next year fiscal's budget.

Mr. Swalwell noted part of the façade work is in the rear of the building facing the alley and the municipal parking lot.

Trustee Kelly explained that the BDC's recommendation was 75% of the project cost without the patio and fence in the back rear of the building.

Trustee Kelly asked Mr. Hedges to confirm the amount that would be awarded if the Village Board chose to award 75% of the total project, including the patio and fence. Mr. Hedges replied that the amount would be \$55,563.

The business will be coffee and bakery in the morning and wine, craft beers, and charcuterie in the evening.

The Board discussed that it would like to preserve and enhance the patio in the back.

Mr. Roberts said he is working with Ed Reiser from Dreymler Kray.

Trustee Robinson moved to award a façade improvement grant for the Hampshire Social Project at 124 S. State Street, for up to 75% of the original request, or \$55,563.

Seconded by Trustee Fodor
Motion carried by roll call vote.
Ayes: Koth, Mott, Pollastrini, Kelly, Fodor, Robinson
Nays: None
Absent: Reid

A presentation of concept plan for the subdivision of the Hampshire 90 Logistics Park

The developers for this project could not make it tonight due to sickness.

Trustee Robinson moved to table item 9. b, a presentation of concept plan for the subdivision of the Hampshire 90 Logistics Park.

Seconded by Trustee Kelly
Motion carried by roll call vote.
Ayes: Koth, Mott, Kelly, Fodor, Pollastrini, Robinson
Nays: None
Absent: Reid

A motion to authorize the purchase of three Dodge Durango Squads and One Ram 3500 Cab and Chassis from James Motors for \$165,488.96.

Finance Director Lyons mentioned this is just for vehicle purchases, which are budgeted, and up-fitting costs are not finalized.

Trustee Kelly moved to authorize the purchase of three Dodge Durango Squads and One Ram 3500 Cab and Chassis from James Motors for \$165,488.96.

Seconded by Trustee Robinson

Motion carried by roll call vote.
Ayes: Koth, Mott, Kelly, Fodor, Pollastrini, Robinson
Nays: None
Absent: Reid

An Ordinance prohibiting Dry-Cutting as an allowable method for cutting concrete.

Interim Presiding Officer Koth reminded everyone that saw-cut dust travels for blocks. It ruins everything, and it is bad for kids, older people, and pets.

Sections 116.3 and 115.3 in the ordinance require a permit, but some masonry work, like brick pavers, does not usually require one.

Trustee Pollastrini moved to amend the ordinance by removing Section 116.3 and Section 115.3.

Seconded by Trustee Mott
Motion carried by roll call vote.
Ayes: Koth, Mott, Pollastrini, Kelly, Fodor, Robinson
Nays: None
Absent: Reid

Trustee Fodor moved to approve Ordinance 22-07 as amended; amending the building code and the residential code for one-and two-family dwellings to add regulations governing cutting of concrete and like materials.

Seconded by Trustee Robinson
Motion carried by roll call vote.
Ayes: Koth, Mott, Pollastrini, Kelly, Fodor, Robinson
Nays: None
Absent: Reid

MONTHLY REPORTS

March Financial Report

Trustee Pollastrini asked why police legal services was so high. Ms. Lyons explained it is for labor related matters.

March Police Incidents Report

No comments

March Engineering Report

No comments

ACCOUNTS PAYABLE

A Motion to approve the April 21, 2022 Accounts Payable to Personnel

Trustee Robinson moved to approve the Accounts Payable for James Neblock in the sum of \$17.94 paid on or before April 27, 2022.

Seconded by Trustee Mott
Motion carried by roll call vote.

Ayes: Fodor, Kelly, Pollastrini, Robinson, Koth, Mott, Pollastrini
Nays: None
Absent: Reid

A Motion to approve the April 21, 2022 Regular Accounts Payable

Trustee Kelly had a question about the bond refund at the HMS culvert.

Trustee Pollastrini asked what the payments to SAFEbuilt include. Ms. Lyons explained that the Village collect all permit fees then pays 80% of plan review and inspection fees back to SAFEbuilt.

Trustee Robinson moved to approve the Accounts Payable in the sum of \$278,531.49 paid on or before April 27, 2022.

Seconded by Trustee Fodor
Motion carried by roll call vote.
Ayes: Fodor, Kelly, Pollastrini, Koth, Mott, Robinson
Nays: None
Absent: Reid

COMMITTEE / COMMISSION REPORTS

a) Business Development Commission - Trustee Kelly reported on the BDC meeting last week. They discussed the façade program and the application from Brandon Roberts. Trustee Kelly thanked the Village Board and Brandon Roberts. The BDC discussed the need to reserve funds for projects that may come later in the fiscal year and potentially setting an application period with an end date when all applications should be turned in for consideration at the same time. The BDC also worked more on the economic development strategy.

Trustee Kelly also announced the BDC has two members resigning. First, Ian Lamp said he has too many other commitments. Everyone thanked him for his service on the BDC. Second, Susie Kopacz will be moving away. Everyone wished her the best and thanked her for her hard work.

Trustee Kelly also thanked Mr. Hedges and Mr. Wray for all their hard work with the BDC.

b) Public Relations - Trustee Fodor announced a PR meeting on April 28 at 6:30 p.m. If the meeting is done in time, everyone can go to the Hampshire Historical Society meeting to hear the history of the schools in Hampshire. It starts at 7 p.m. at the Hampshire Township building.

c) Public Works - Trustee Koth announced that a few public works personnel achieved their aquatic license to spray herbicides and pesticides. Great job guys.

d) Budget Committee - No report.

ANNOUNCEMENTS

Village Manager Hedges reported the Village was awarded our Safe Routed to School Grant for \$250,000.

Downtown construction for the Streetscape project should begin May 2, 2022. Staff held a meeting for downtown businesses after the pre-con meeting to inform everyone further of what

will happen during construction. About 15 business representatives attended to listen and ask questions. Stitching on State will be hosting an event on May 3-4. The street will be closed to thru traffic by then so we are working with the owner to provide parking. If all goes as planned, Streetscape will be completed in 16 weeks from start of construction, or the day before Coon Creek Country Days begins. Streetlight improvements will be last - toward the end of October. President Reid is working with a light vendor here in town to see if the canopy lights can be brought back into the project.

Trustee Pollastrini thanked Police Chief Thompson for the March 2022 KaneComm Report and for the incidents report.

ADJOURNMENT

Trustee Robinson moved to adjourn the Village Board meeting at 8:05 p.m.

Seconded by Trustee Fodor

Motion carried by roll call vote.

Ayes: Fodor, Kelly, Pollastrini, Koth, Mott, and Robinson

Nays: None

Absent: Reid

Linda Vasquez, Village Clerk



Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: **President Reid; Board of Trustees**
FROM: **Josh Wray, Assistant to the Village Manager**
FOR: **Village Board Meeting on May 5, 2022**
RE: **Concept Plan Review - Hampshire 90 Logistics Park**

Background: The Entre Commercial Realty group completed annexation and zoning for the Hampshire 90 Logistics Park in 2021. A potential buyer for the entire property has now come forward with a concept plan for subdivision into several lots. The Planning and Zoning Commission voted to approve this concept plan 6-0.

Analysis: The concept plan is a relatively basic stage meant to explore any problems with the plan from the Village’s perspective and to seek feedback from the Village Board before moving further in engineering. Staff has no concerns about the subdivision as proposed, and the intended uses as discussed with the buyer are permitted in the current M-2 industrial zoning. After purchase, the buyers will move to final engineering and platting, which will then go before the Planning and Zoning Commission and Village Board for approval.

Action Needed: No formal action of the Village Board is required, but comments and concerns are appropriate.



Village of Hampshire

234 S. State Street, Hampshire, IL 60140
Phone: 847-683-2181 ▪ www.hampshireil.org

ZONING REVIEW APPLICATION

Date: March 17, 2022

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- Variance
- Special Use Permit
- Rezoning from _____ District to _____ District (ex. M1 to M2)
- Annexation
- Subdivision - Concept Plan Review
- Subdivision - Preliminary Plan Review
- Subdivision - Final Plan Review
- Other Site Plan: _____

PART I. APPLICANT INFORMATION

APPLICANT (Please print or type)

Name: DQH Hampshire I, LLC Email: david@worldrichman.com
 Address: 2505 Bath Road, Elgin, IL 60124 Phone: (847) 468-8898 x228

CONTACT PERSON (If different from Applicant)

Name: John Regan, Attorney at Law Email: jregan@huckbouma.com
 Address: 2425 Royal Blvd. Elgin, IL 60123 Phone: (847) 695-2000

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

 YES X NO

If the Applicant is not the owner of the subject property, a written statement from the Owner authorizing the Applicant to file the Development Application must be attached to this application.

IS THE APPLICANT AND/OR OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

 YES X NO

If the Applicant and/or owner of the subject property is a Trustee of a land trust or beneficiaries of a land trust, a Disclosure Statement identifying each beneficiary of such land trust by name and address, and defining his/her interest therein, shall be verified by the Trustee and shall be attached hereto.

PART II. PROPERTY INFORMATION

Name of Development (if any): Hampshire 90 Logistics Park

Address: 18N775 US Hwy 20 Hampshire, IL 60140

Parcel Number(s): 01-11-200-010; 01-11-200-007; 01-11-100-017

Total Area(acres): 88.59

Fire Protection District: Hampshire

School District: D300

Library District: Ella Johnson

Park District: Hampshire

Township: Hampshire

Current Zoning District: M2

Current Use:

Vacant

Proposed Zoning/Variance/Use:

Subdivision for future uses allowed in M2

**ECR ACQUISITIONS LLC
3550 Salt Creek Lane, Suite 104
Arlington Heights, Illinois 60005**

Village of Hampshire
Hampshire Village Hall
234 S. State Street
Hampshire, Illinois 60140-0457
Attn: Development Services/Planning and Zoning

Re: Approximately 84 acres along U.S. Route 20 to be known as "Hampshire 90 Logistics Park"
Parcels Nos: 01-11-100-017; 01-11-200-010; 01-11-200-007 and 01-11-200-007 (the "Property")

Dear Sir or Madam:

Please be advised that ECR Acquisitions, LLC ("Seller") has entered into a Purchase and Sale Agreement to sell the Property to DQH Hampshire I, LLC ("Buyer") which contract is subject to Buyer obtaining certain approvals for the development of improvements on the Property, including but not limited to subdivision approval, site and plan approval, engineering and permitting (collectively, "Governmental Approvals").

Seller authorizes Buyer to make application to the Village of Hampshire for the Governmental Approvals, which Governmental Approvals will not be binding on the Property until the closing on the acquisition of the Property by Buyer.

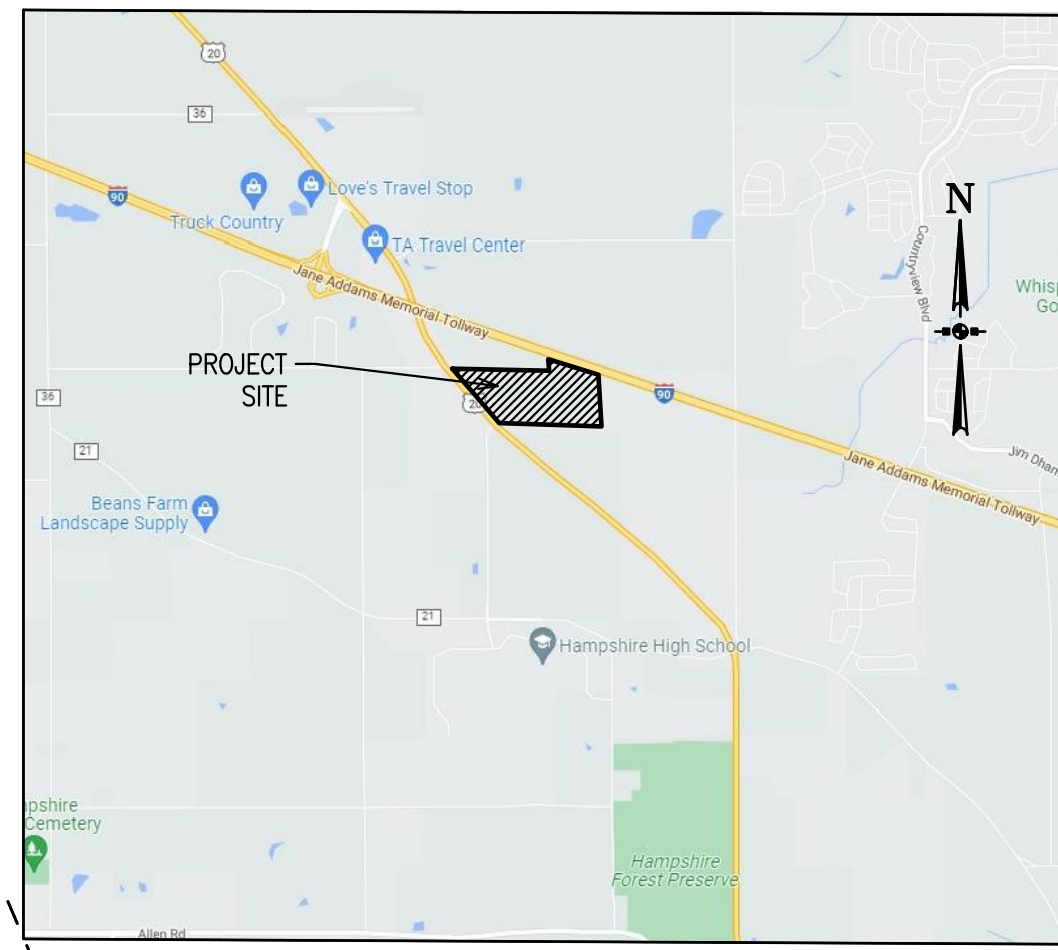
Please let me know if you have any questions regarding this matter.

Very truly yours,

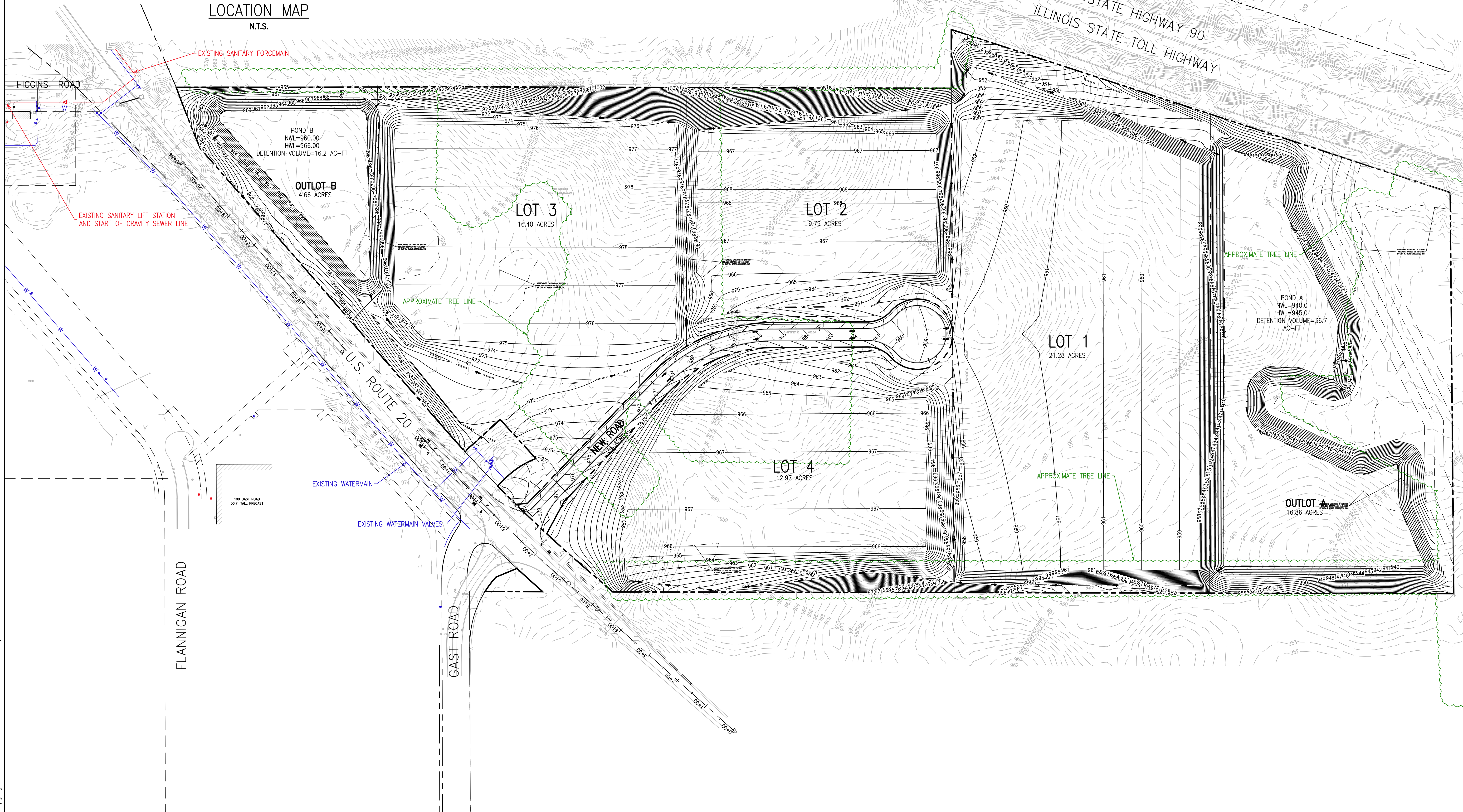
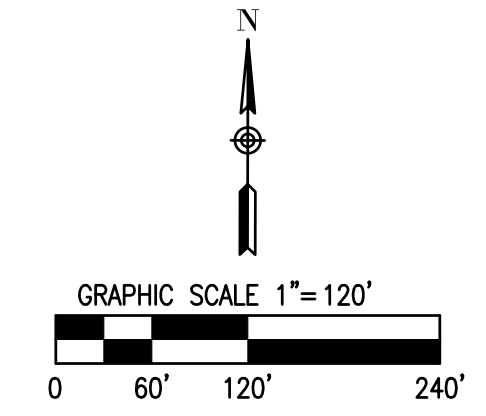
ECR Acquisitions, LLC

By: 
Name: Daniel Benassi, Manager

cc: DQH Hampshire I, LLC



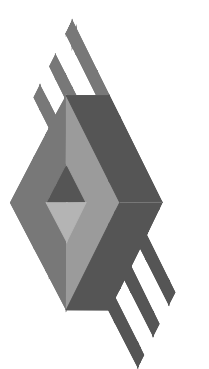
LOCATION MAP
N.T.S.



No.	Description	Date
1	CONCEPT PLAN	03/21/22

CONCEPT PLAN
 HAMPSHIRE 90 LOGISTICS PARK
 INDUSTRIAL EQUITY PARTNERS
 HAMPSHIRE, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



B298m
 1"=120'
 CP-1



Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: President Reid; Board of Trustees
FROM: Josh Wray, Assistant to the Village Manager
FOR: Village Board Meeting on May 5, 2022
RE: Variance for Gravel Parking for Brier Hill Ventures

Background: Brier Hill Ventures submitted a petition for a variance to allow for a gravel parking area at the Midwest Companies site. The Planning and Zoning Commission held a public hearing on the matter and recommended approval of this variance 5-1.

Analysis: The proposed area for gravel will not see daily parking or traffic. Rather, it will be used largely for equipment storage and some long-term vehicle parking. Additionally, the gravel area will be blocked from view from Brier Hill Road due to the topography along the roadway, future landscaping, future fencing, and a future building to be erected between the gravel area and the road. All areas of daily parking and traffic will be paved, as noted on the site plans.

Recommendation: Staff recommends approval of this variance.



Village of Hampshire

234 S. State Street, Hampshire, IL 60140
Phone: 847-683-2181 • www.hampshireil.org

ZONING REVIEW APPLICATION

Date: 3/14/22

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- Variance
- Special Use Permit
- Rezoning from _____ District to _____ District (ex. M1 to M2)
- Annexation
- Subdivision - Concept Plan Review
- Subdivision - Preliminary Plan Review
- Subdivision - Final Plan Review
- Other Site Plan: _____

PART I. APPLICANT INFORMATION

APPLICANT (Please print or type)

Name: B+C Enterprises, Inc. Email: Brian Heimsoth
brian@bcentinc.com
 Address: 2482 Technology Dr. Ugin, IL Phone: 815-482-5722
60124

CONTACT PERSON (If different from Applicant)

Name: Heather Gagliardi Email: heather@bcentinc.com
 Address: 2482 Technology Dr. Ugin, IL Phone: 224-735-8196
60124

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

___ YES X NO

If the Applicant is not the owner of the subject property, a written statement from the Owner authorizing the Applicant to file the Development Application must be attached to this application.

IS THE APPLICANT AND/OR OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

___ YES X NO

If the Applicant and/or owner of the subject property is a Trustee of a land trust or

beneficiaries of a land trust, a Disclosure Statement identifying each beneficiary of such landtrust by name and address, and defining his/her interest therein, shall be verified by the Trustee and shall be attached hereto.

PART II. PROPERTY INFORMATION

Name of Development (if any): Brier Hill Ventures, LLC

Address: Brier Hill at CP Railway

Parcel Number(s): 1-23-300-008 1-25-100-009

Total Area (acres): 17.373

Legal Description: must be attached to this application

Fire Protection District: _____

School District: _____

Library District: _____

Park District: _____

Township: _____

Current Zoning District: _____

Current Use:

Proposed Zoning/Variance/Use:

Variance for gravel to be placed on a larger area of the property

PART III. REQUIRED DOCUMENTATION

From chart on next page

- Signed Development Application
- Signed Developer's Agreement (Attachment A)
- Deposit/Fee \$ 500 (see Village Ordinances and Requirements section)
- Proof of Ownership or Option
- Legal Description of Property – Plat of Survey
- List of property owners within 250 ft with parcel numbers (Attachment B) (see Attachment C for an example notification letter)
- Concept Plan – see Subdivision Regulations for more information
- Preliminary Plan – see Subdivision Regulations for more information
- Final Plan – see Subdivision Regulations for more information
- Site Plan
- Landscape Plan: Preliminary or Final
- Architectural Elevations
- Petition for Annexation
- Plat of Annexation
- Stormwater Permit Application or Report
- Soil Conservation District Land Use Opinion
- Tree Preservation and Removal Plan
- Other _____

Needed documentation may vary depending on the specific circumstances of the application. Therefore, staff may require additional documentation after initial review (e.g., fiscal impact study, endangered species report, wetland report etc.).

I, Brian Heimsoth, hereby apply for review and approval of this application and represent that the application and requirements thereof and supporting information have been completed in accordance with the Hampshire ordinances.


Signature

3/14/22
Date

• Attachment A

Developer's Agreement with Respect to Development Fees and Deposits

The undersigned Developer acknowledges that he/she has filed a ZONING REVIEW APPLICATION with the Village, requesting A VARIANCE, and further, acknowledges that the Village Code requires that he/she reimburse the Village for all professional fees incurred for engineering, legal, consultant, and other outside services in regard to this application and all other matters related to the proposed development or zoning request. The Developer agrees to be bound by the terms of the Village Code in this regard.

The Developer also is required to, and hereby does, submit a fee or deposit, to be held by the Village to secure reimbursement of such funds as applicable, in accordance with the current schedule of fees and deposits required by the Village for the type of land use action requested. Said deposit shall be held as security for payment of fees and will be applied by the Village to payment of such fees upon default by Developer. Any balance remaining, after payment of all such fees, including reasonable attorney fees and court costs incurred by the Village in discussing, negotiating, or enforcing the terms of this Agreement, shall be returned to Developer. Any interest earned on funds on deposit shall accrue to the Village.

By: 
Signature

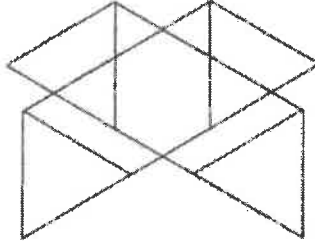
3/14/2022
Date

RECEIPT OF INITIAL FEE DEPOSIT ACKNOWLEDGED BY VILLAGE CLERK


Signature

3-14-22
Date

This form must be executed and accompany all Development Applications. No Application will be accepted or processed without this completed form.



**BRIER HILL
VENTURES**

March 8, 2022

Village of Hampshire
234 S. State Street
Hampshire, IL 60140

RE: Development Application

This letter authorizes B&C Enterprises to file the Development Application on behalf of Brier Hill Ventures, LLC.

Sincerely,

Veronica Berglund
Member

**Brier Hill Ventures, LLC
270 N. State Street, Unit A
P.O. Box 729
Hampshire, IL 60140**

EXHIBIT C

Legal Description of Subject Property and Additional Parcel (combined)

That part of the Southwest Quarter of Section 24 and part of the Northwest Quarter of Section 25, Township 42 North, Range 6 East of the Third Principal Meridian, described more particularly as follows:

Commencing at the Southeast corner of said Southwest Quarter of Section 24; thence South 89 degrees 21 minutes 37 seconds West (bearing based on NAD 83 Illinois State Plane Coordinate System, East Zone (2011 adjustment)), along the South line of said Southwest Quarter, 30.00 feet to the apparent west right of way line of Brier Hill Road as occupied and shown on document 2017K030623, said line being 30.00 feet West of and parallel to the east line of said Northwest Quarter of Section 25, said point also being the point of beginning;

Thence South 00 degrees 09 minutes 45 seconds East along said west line, 584.10 feet to a point on the north line of Soo Line Railroad (also or formerly known as Chicago, Milwaukee, St. Rail and Pacific Railroad Company), said line being 50.00 feet north of and parallel to the centerline of said railroad as occupied; thence North 64 degrees 11 minutes 05 seconds West along said north line, 728.47 feet; thence North 00 degrees 09 minutes 45 seconds West parallel with the said east line of Section 25, 259.56 feet to a point on the north line of said Northwest Quarter; thence North 00 degrees 11 minutes 33 seconds West parallel with the said east line of Section 24, 734.58 feet; thence North 89 degrees 29 minutes 56 seconds East parallel with the north line of the Southeast Quarter of the Southwest Quarter of said Section 24, 654.88 feet to a point on said apparent west right of way line of Brier Hill Road as occupied; thence South 00 degrees 11 minutes 33 seconds East parallel with a line 30.00 feet west of and parallel to the east line of said Southwest Quarter of Section 24 and also along said apparent west line of Brier Hill Road, 733.00 feet to the point of beginning, all in Kane County, Illinois.

Containing 756,783 square feet or 17.373 acres, more or less.

PIN: 01-23-300-008 and 01-25-100-009 (portions of each parcel)

Common Address: Brier Hill Road, south of Allen Road, Hampshire, Illinois 60140

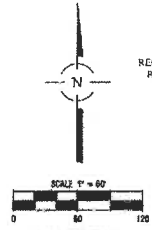
PLAT OF ANNEXATION TO THE VILLAGE OF HAMPSHIRE

P.L.N.
01-24-300-008 (PART OF)

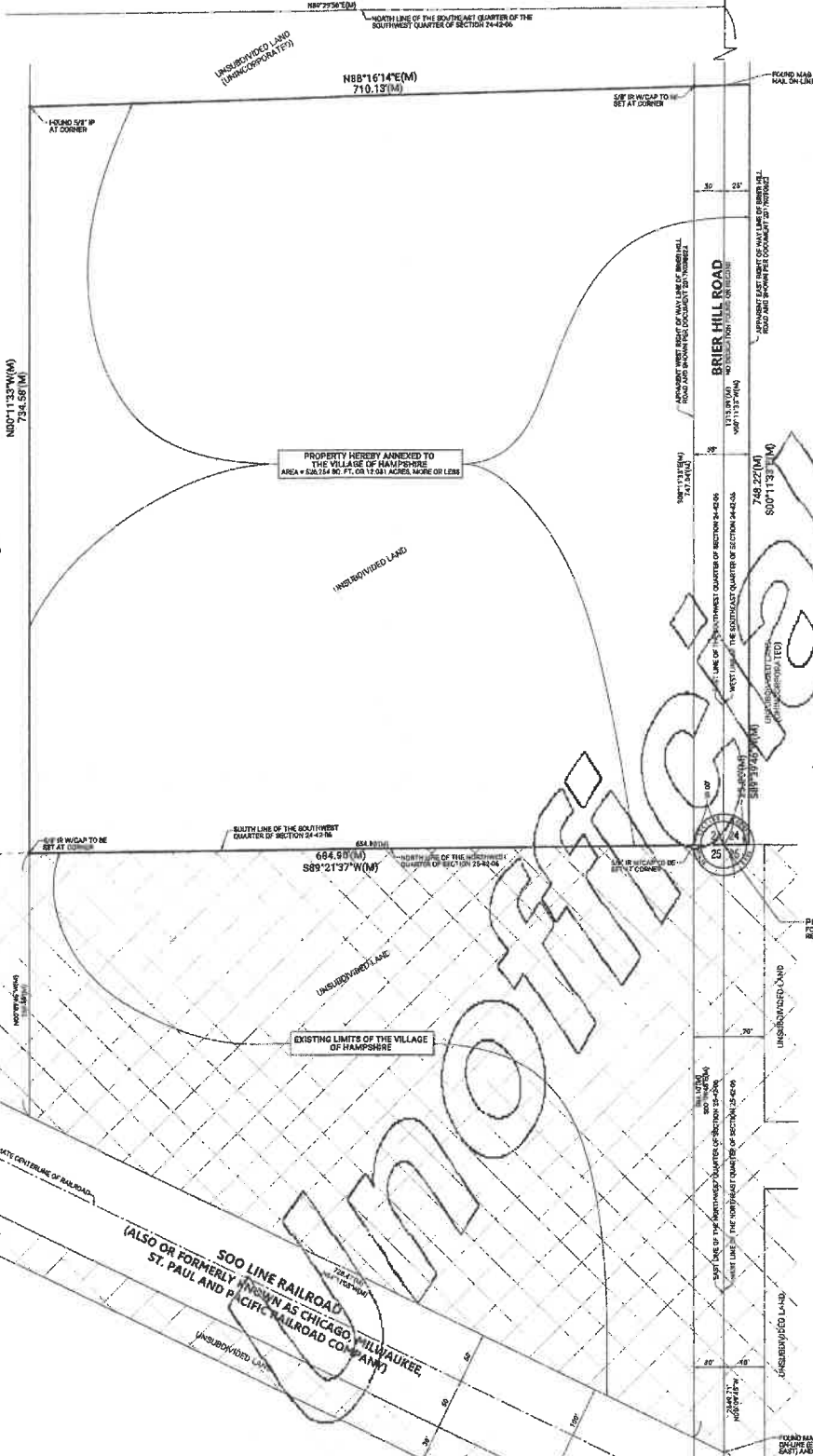
2021K070426

SANDY WEGMAN
RECORDER - KANSAS COUNTY, IL
RECORDED WITHIN 10 WORKING
REC PER: 2140

PAGES: 8



SCALE 1" = 60'
0 60 120
BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION IL EAST ZONE
R = IRON ROD
P = IRON PIPE
H = HEADLESS
R = RECORD



PROPERTY HEREBY ANNEXED TO
THE VILLAGE OF HAMPSHIRE
AREA = 626.24 AC. FT. OR 12.81 ACRES, MORE OR LESS

EXISTING LIMITS OF THE VILLAGE
OF HAMPSHIRE

SOO LINE RAILROAD
(ALSO OR FORMERLY KNOWN AS CHICAGO MILWAUKEE
ST. PAUL AND PACIFIC RAILROAD COMPANY)

PROPERTY DESCRIPTION:
THAT PART OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

BEARING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 24, THE POINT OF BEGINNING OF THIS DEED IS A POINT OF BEGINNING BEARING N 88° 16' 14\"/>

COUNTY CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

THIS IS TO CERTIFY THAT

DATE THIS DAY OF

A.D. 20

NOTARY PUBLIC, CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

DO HEREBY CERTIFY THAT

DATE THIS DAY OF

A.D. 20

NOTARY PUBLIC

POINT OF BEGINNING

FOUND AS BEING AT CORNER PER MONUMENT

RECORD 201400148 & 8102012

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS

DATE THIS DAY OF

A.D. 20

VILLAGE PRESIDENT

(ATTACHED TO THIS PLAT)

VILLAGE CLERK

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE, ILLINOIS

DATE THIS DAY OF

A.D. 20

VILLAGE ENGINEER

(ATTACHED TO THIS PLAT)

VILLAGE CLERK

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE, ILLINOIS

DATE THIS DAY OF

A.D. 20

VILLAGE ENGINEER

(ATTACHED TO THIS PLAT)

VILLAGE CLERK

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS

COUNTY OF KANE

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE, ILLINOIS

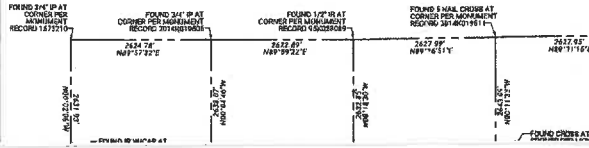
DATE THIS DAY OF

A.D. 20

VILLAGE ENGINEER

(ATTACHED TO THIS PLAT)

VILLAGE CLERK



GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS

- The "Standard Specifications for Road and Bridge Construction" adopted Jan. 1, 2012, the "Standard Specifications for Water and Sewer Main Construction in Illinois", Seventh Edition, dated 2014, and revisions thereto, these improvement plans and details, special provisions and codes and ordinances of the Village of Hampshire, Illinois shall govern applicable portions of this project.
- The Contractor shall obtain, erect, maintain and remove all signs, barricades, flagmen and other control devices as may be necessary for the purpose of regulating, warning or guiding traffic. Placement and maintenance of all traffic control devices shall be in accordance with the applicable parts of Article 107.14 of the Standard Specifications, the "Standard Specifications for Traffic Control Items".
- Locations of utilities shown on plans are approximate only, and are not necessarily complete. Contractor shall make his own investigations as to location of all existing underground structures, cables, utilities and pipe lines.
- If existing utility lines of any nature are encountered which conflict in location with new construction, the Contractor shall notify the Engineer and Village so that the conflict may be resolved.
- The Contractor shall notify J.U.I.E. (1-800-892-0123) at least ten days prior to construction so that each utility company can stake out any underground improvements that they may have which might interfere with the proposed construction.
- The Contractor shall be required to make arrangements for the proper bracing, shoring and other required protection of all roadways, structures, poles, cables and pipe lines, before construction begins. He shall be responsible for any damage to the streets or roadways and associated structures and shall make repairs as necessary to the satisfaction of the Engineer and Village at his own expense.
- The Contractor shall be responsible for the protection of all private and public utilities even though they may not be shown on the plans. Any utility that is damaged during construction shall be repaired or replaced to the satisfaction of the Engineer and Village by the Contractor at his own expense.
- The Contractor shall examine the plans and specifications, visit the site of the work and inform himself fully of all work conditions, general and local conditions, all Federal, State and local laws, ordinances, rules and regulations and all other pertinent items which may affect the cost and time of completion of this project before submitting a proposal.
- All work and materials shall be in accordance with code requirements.
- Prior to submitting his bid, the Contractor shall call the attention of the Engineer to any material or equipment he deems inadequate and to any item of work omitted.
- The pay items shall be as noted in the Summary of Quantities/Proposal. Any item of work that is shown on the plans to be performed by the Contractor, for which there is no pay item, shall be considered incidental to the cost of the project.
- Structures for valve vaults for water mains shall be in accordance with the improvement plans and the applicable standard specifications. Where granular trench backfill is required around these structures, the cost shall be considered as incidental and shall be included in the contract unit price for the structure.
- Frame and cover or grates for water main structures shall be as indicated within these improvement plans.
- All final adjustments of casting will be accomplished by the use of precast concrete adjusting rings set in. Butyl rope joint sealant; mortar joints will not be allowed. Total height of adjusting rings used shall not exceed eight (8") inches. Cost for adjustment is considered incidental.
- The underground contractor shall be responsible to place on grade and coordinate with other contractors all underground structures frames such as catch basins, manholes, hydrants, buffalo boxes, valves, etc. No additional compensation shall be paid and said adjustments shall be considered incidental to other items of construction.
- The Contractor shall restore any area disturbed to a condition equal to or better than its original use. This shall include finish grading, establishment of a vegetative cover (seeding or sod), general cleanup and pavement replacement.
- All trenches caused by the construction of sewers, water mains, water service pipes and the excavation around catch basins, manholes, inlets and other appurtenances which occur within the limits of existing or proposed pavements, sidewalks and curb and gutters or where the edge of the trench shall be within two (2') feet of said improvements shall be backfilled with compacted granular trench backfill or with approved suitable select material and properly compacted in accordance with Division II Section 20 of the "Standard Specifications for Water and Sewer Main Construction in Illinois", Sixth Edition, Dated July, 2009, and revisions thereto.

Trench backfill quantities for public utilities and utility conduits have been computed and shall be paid for based on the following maximum trench widths in accordance with Division II of the "Standard Specifications for Water and Sewer Main Construction in Illinois", Sixth Edition, Dated July, 2009, and revisions thereto. The depth of backfill shall be measured from the top of pipe embedment to the finished subgrade or as noted on the plans.

Required Trench Width on Each Side of the Pipe	Trench Depth/Protection
12 in. (300 mm)	5 ft (1.5 m) and less, without protection
18 in. (450 mm)	5 ft (1.5 m) and less, with protection
18 in. (450 mm)	Greater than 5 ft (1.5 m)

Trench backfill required in excess of the quantity beyond the maximum trench width shall be considered incidental to the contract unless authorized by the Engineer.

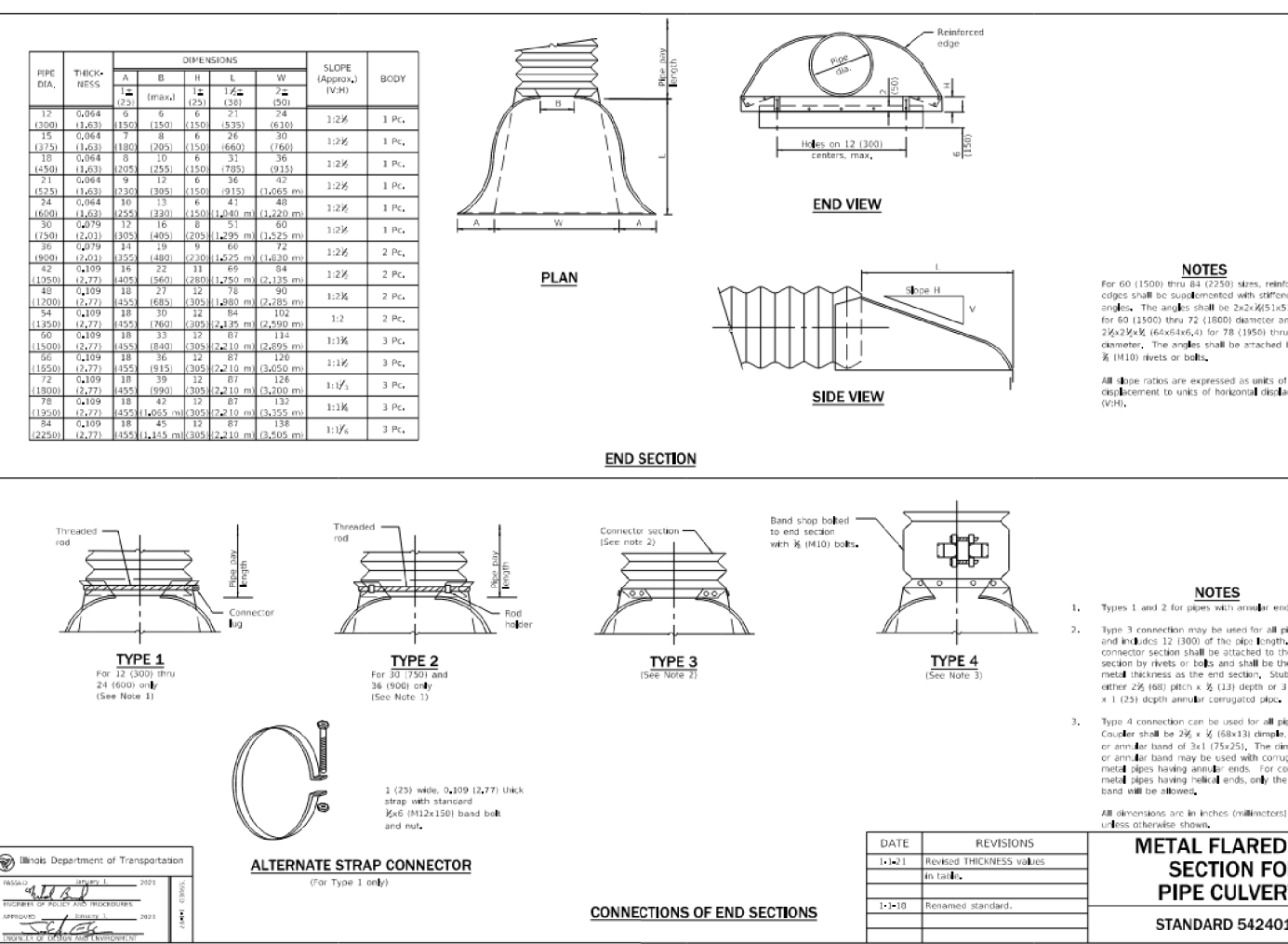
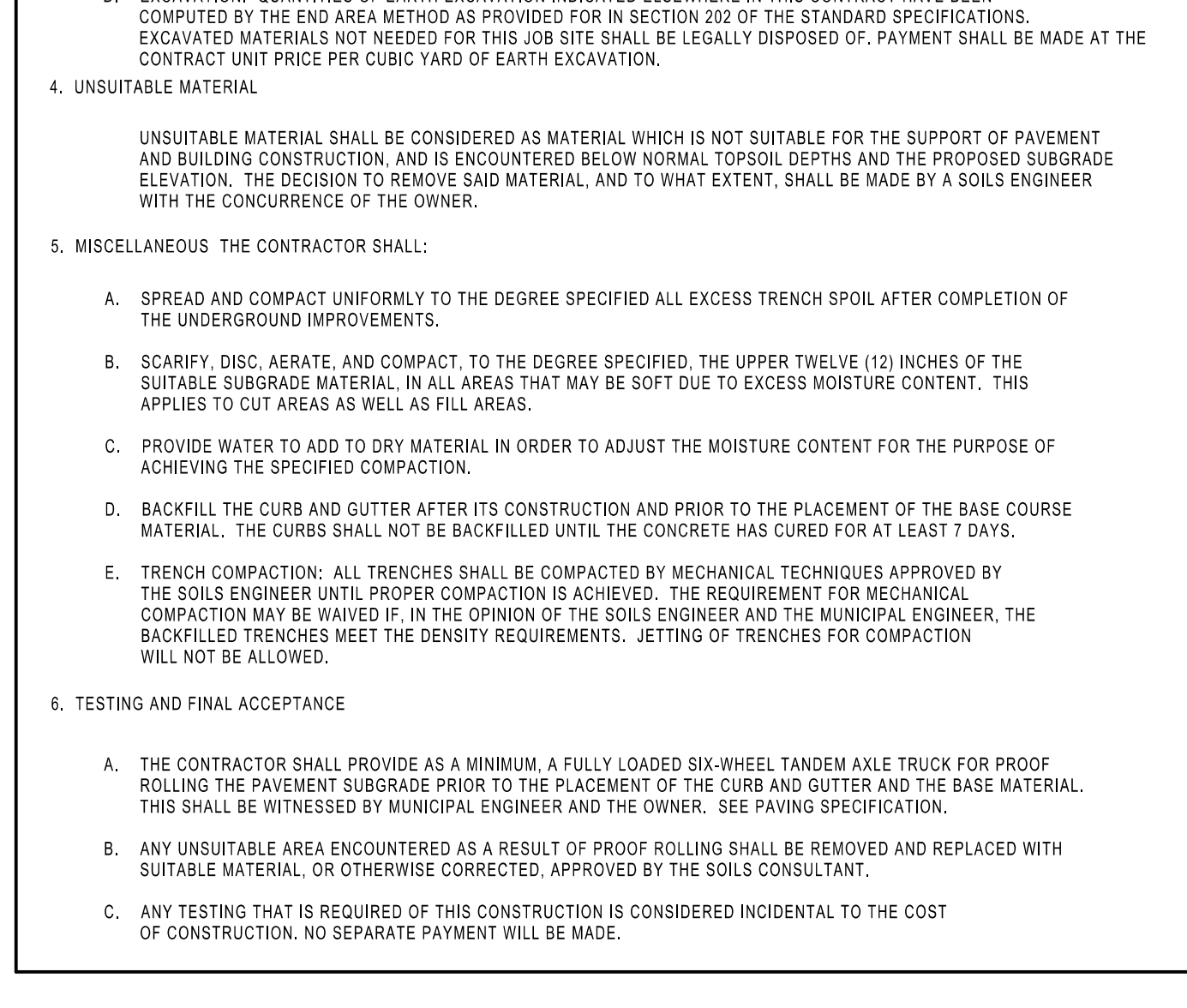
- The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.
- The Engineer will be given forty-eight (48) hours notice for any staking that is to be done. Each of the various items of work covered by this contract will be staked once. Additional staking required due to the negligence of the Contractor shall be paid for by the Contractor at the current hourly rate.
- The Contractor shall inform the Village Engineer before work commences on each category of construction, i.e. water main, grading, pavement and drainage improvement. A twenty-four (24) hour notice shall be given for any item that requires final testing and inspection such as water mains or sanitary sewers.
- The Engineer will furnish the Contractor with lines and grades necessary to the proper prosecution and control of the work. The Contractor shall call the attention of the Engineer to any errors or discrepancies in lines and grades which are established by the Engineer, and shall not proceed with the work until any lines and grades which are believed to be in error have been verified or corrected by the Engineer or his representative.
- All lot irons damaged or removed during construction of this project shall be replaced by the Engineer and said cost of replacement shall be paid by the Contractor.
- Before acceptance by the Village and final payment, all work shall be inspected and approved by the Village Engineer. Final payment shall be made after all of the Contractor's work has been approved and accepted.
- The Contractor will have in his possession on the job site a copy of the plans and specifications during construction.
- If any approved equal items are required, the Contractor shall contact the Engineer for approval.
- Any drain and/or field tile encountered by the Contractor during the installation of the improvements shall be returned to original condition. This work to be considered incidental to the contract.
- All road signs, street signs and traffic signs which need to be relocated or moved due to construction shall be taken down and stored by the Contractor at his own expense, except those which are necessary for proper traffic control which shall be temporarily reset until completion of construction operations. After completion of the work, the Contractor shall reset, at his expense, all said signs.
- The Contractor shall dispose of all excess excavation, unsuitable and unusable materials offsite and at an approved location in a manner that public or private property will not be damaged or endangered. This work is considered as incidental to the cost of the project.
- No excavations will be permitted to remain open over any weekend.
- "Band-Seal" or similar couplings shall be used when joining sewer pipes of dissimilar materials.
- As-built drawings shall be prepared by the Contractor and submitted to the Engineer as soon as the site improvements are completed. Any change in length, location or alignment shall be shown in red.
- The Contractor is responsible for coordinating any required inspections with the Village of Hampshire.
- Special attention is drawn to the fact that Article 105.06 of the standard specifications requires the Contractor to have a competent superintendent on the project site at all times, irrespective of the amount of work sublet. The superintendent shall be capable of reading and understanding the plans and specifications, shall have full authority to execute orders to expedite the project, shall be responsible for scheduling and have control of all work as the agent of the Contractor. Failure to comply with this provision will result in a suspension of work as provided in Article 108.07.
- The Engineer and Village are not responsible for the construction means, methods, techniques, sequences or procedures, time of performance, programs or for any safety precautions used by the Contractor. The Contractor is solely responsible for execution of his work in accordance with the contract documents and specifications.

EARTHWORK NOTES

- GENERAL:
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEO TECHNICAL REPORTS AVAILABLE FROM THE OWNER.
 - ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPROPRIATE MEASUREMENTS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
 - THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
 - THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.
 - PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR Dewatering DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES", THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION SHALL BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.
 - PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRY ZONE EXTENT OF FURTEST EXTENDING BRANCHES SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
 - EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
 - ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROF. ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.
- TOPSOIL EXCAVATION INCLUDES:
 - EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
 - PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
 - TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
 - TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.
 - Moderate compaction is required in non-structural fill areas.
- EARTH EXCAVATION INCLUDES:
 - EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
 - PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.

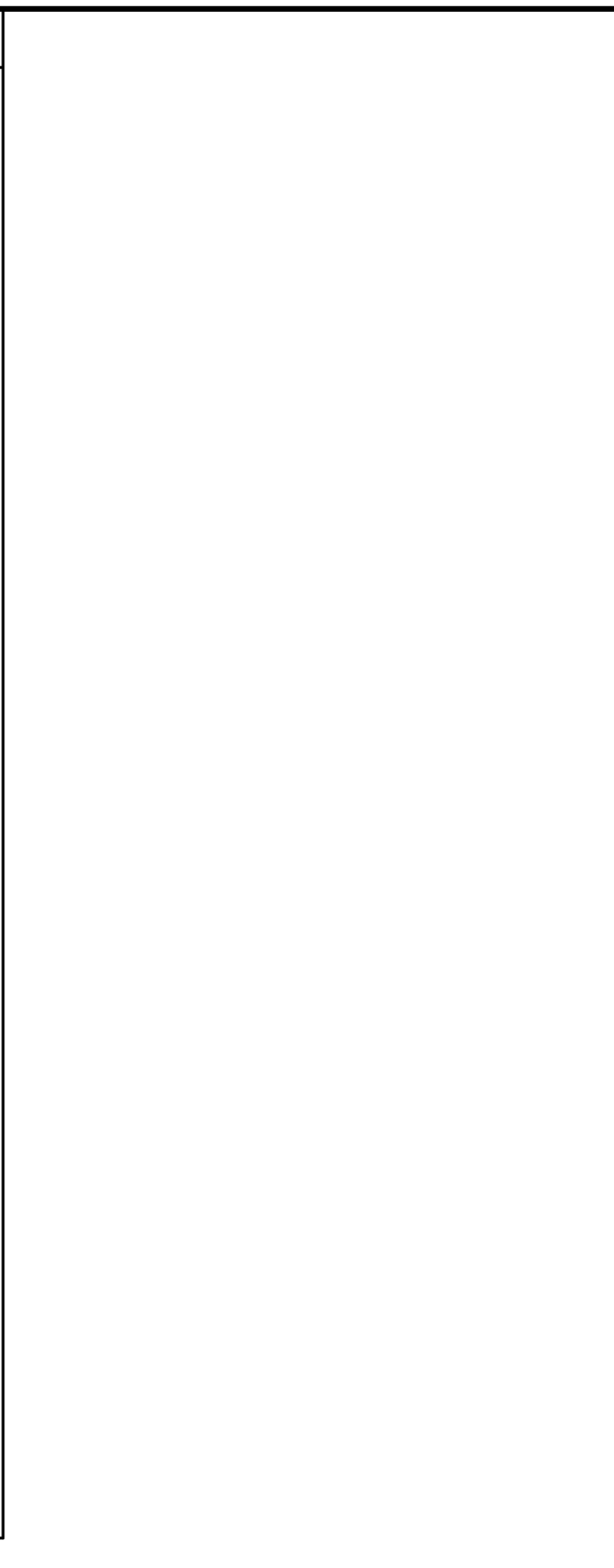
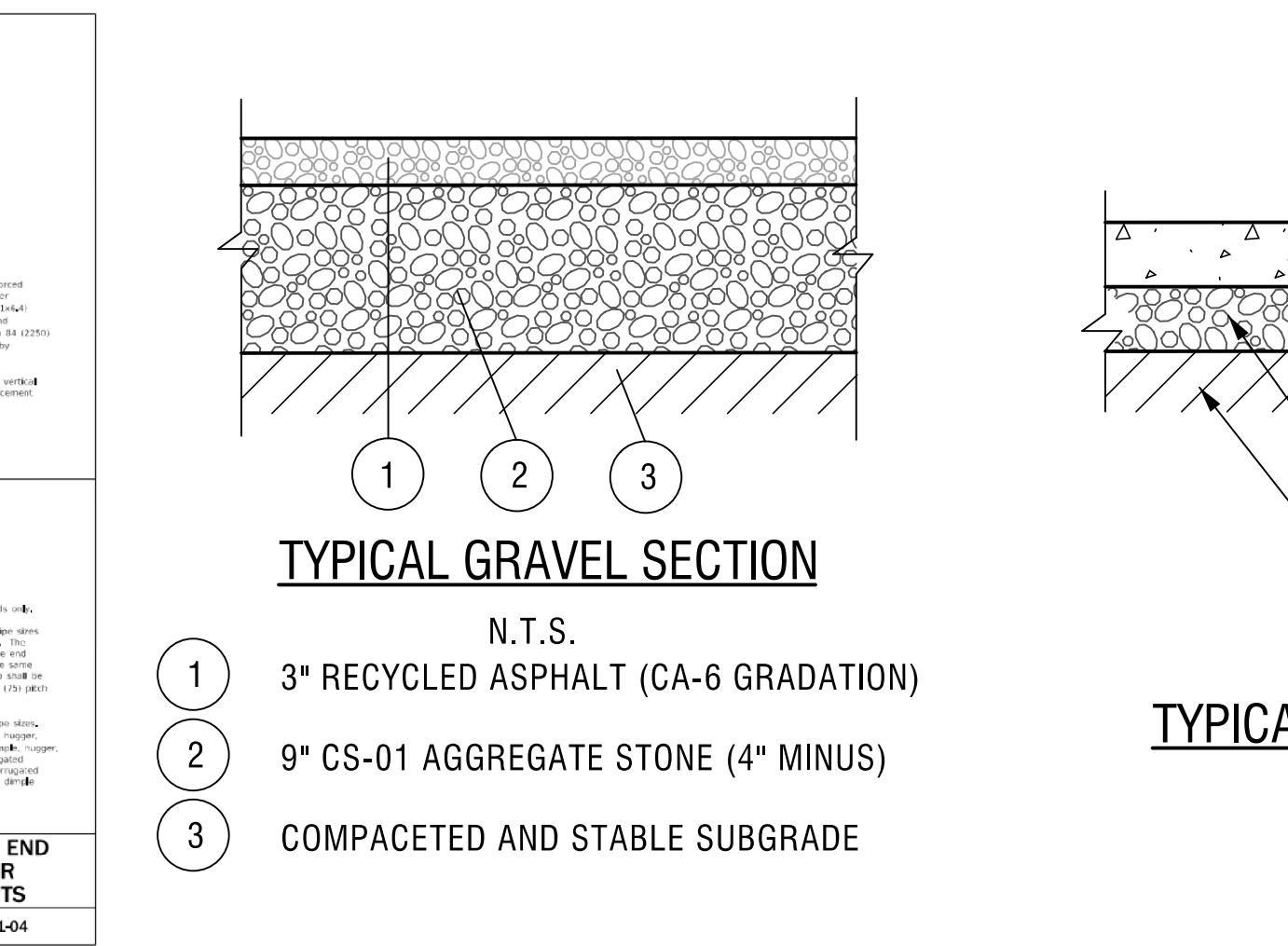
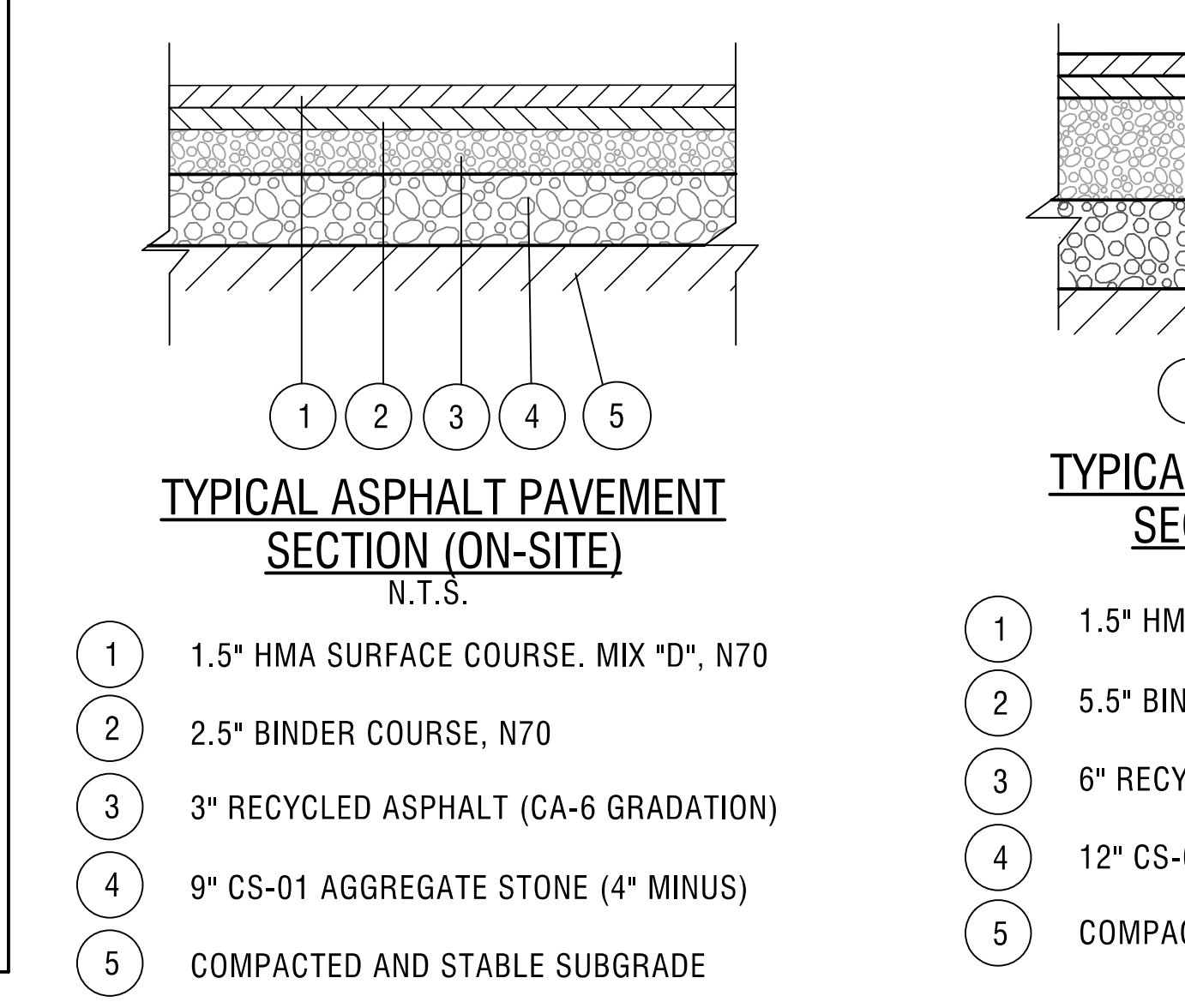
STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION, IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

 - COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.
 - EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT NEEDED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATION.
- UNSUUITABLE MATERIAL

- MISCELLANEOUS THE CONTRACTOR SHALL:
- SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
- SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE IS CURED FOR AT LEAST 7 DAYS.
- TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.
- TESTING AND FINAL ACCEPTANCE
- THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROF. ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.
- ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROF. ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.
- ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.


STORM SEWER NOTES

- GENERAL:
 - ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:
 - PLAN CODE: MATERIAL
 - RCP: REINFORCED CONCRETE PIPE (ASTM C-78) WITH O-RING GASKETED JOINTS. (ASTM C-443); TYPE I, CLASS IV, PER SBRB SECTION 603. ELLIPTICAL RCP PIPE SHALL BE TYPE I, HE-III PER SBRB SECTION 511. PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS. PAYMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT OF STORM SEWER COMPLETE IN PLACE.
 - DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21.51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21.11). CEMENT LINING IS NOT REQUIRED.
 - PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS.
 - HDPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS 14-B BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH. OR HD-3 BY HANCON, FINDLEY, OH. JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER.
 - UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOCK. PERFORATED HDPE PIPE ALSO ACCEPTABLE.
 - "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.
 - ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.
 - ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND.
 - THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES WHICH HAVE LESS THAN THREE (3) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.
- BEDDING:
 - ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.
- STRUCTURES:
 - MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8) INCHES OF ADJUSTING RINGS SHALL BE USED.
 - A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.
 - THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.
 - MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.
- FRENCH DRAIN:
 - ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 2" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GLOTEXILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.
- CASTINGS:
 - CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
- CLEANING:
 - THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.
- TELEVISION:
 - THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS		
M = STORM MANHOLE	I = INVERT OR INLET	T/P = TOP OF PIPE
S = SANITARY MANHOLE	TF = TOP OF FOUNDATION	B/P = BOTTOM OF PIPE
CB = CATCH BASIN	GF = GARAGE FLOOR	WM = WATERMAIN
LP = LIGHT POLE	TC = TOP OF CURB	SM = SANITARY SEWER
WV = VALVE VAULT	TD = TOP OF DEPRESSED CURB	STM = STORM SEWER
E = END SECTION	TW = TOP OF RETAINING WALL	LO = LOOK OUT
FH = FIRE HYDRANT	BW = BOTTOM OF RETAINING WALL	PL0 = PARTIAL LOOK OUT
GR = GRADE RING (HYDRANT)	OP = OUTLET OF PIPE	

PERMITS			
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED
IDNR		2106281	10/02/2020
IHPA	005100520		10/24/2020
IEPA NOI		ILR102B07	

BENCHMARK

BENCHMARK #1
NORTHWEST BOLT OF RAILROAD CROSSING LIGHTS AT THE SOUTHEAST PROPERTY CORNER ON THE WEST SIDE OF BRIER HILL ROAD.
ELEVATION = 978.23 NAVD88

BENCHMARK #2
CUT IN BOX WITH CROSS ON SOUTHWEST CORNER OF CONCRETE BASE FOR LIGHT POLE APPROXIMATELY 150 FEET NORTH FROM THE
NORTHEAST PROPERTY CORNER ON THE WEST SIDE OF BRIER HILL ROAD ACROSS FROM 16N181 BRIER HILL ROAD.
ELEVATION = 1000.46 NAVD88

VILLAGE OF HAMPSHIRE 234 S. STATE STREET P.O. BOX 457 HAMPSHIRE, IL 60140 PH: (847) 683-2181	KANE COUNTY DEPARTMENT OF HIGHWAYS 41W011 BURLINGTON ROAD ST. CHARLES, IL 60175 PH: (630) 584-1170	SOO LINE RAILROAD 120 S. 6TH STREET SUITE 900 MINNEAPOLIS, MN 55402 PH: (602) 234-0013
AT&T 225 W RANDOLPH STREET CHICAGO, IL 60608 PH: (800) 257-0902	ENBRIDGE 8905 CLOW CREEK ROAD PLAINFIELD, IL 60985 PH: (630) 904-8576	NICOR GAS 3000 E CASS STREET JOLIET, IL 60432 PH: (815) 740-4100
COMED 1N423 SWIFT ROAD LOMBARD, IL 60148 (630) 691-6957	MEDIACOM 808 N BOND STREET ELBURN, IL 60119 PH: (855) 633-4226	

NO.	DATE	REMARKS

NO.	DATE	PER OWNER	REMARKS

GENERAL NOTES, SPECIFICATIONS, & TYP. SECTIONS

PHASE 1 - C & D SITE

HAMPSHIRE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (647) 696-1060 Fax: (647) 696-4065

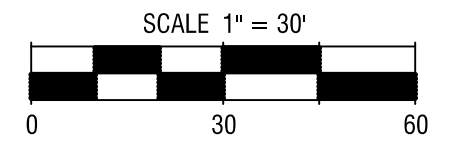
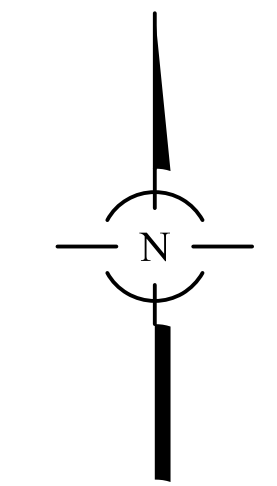
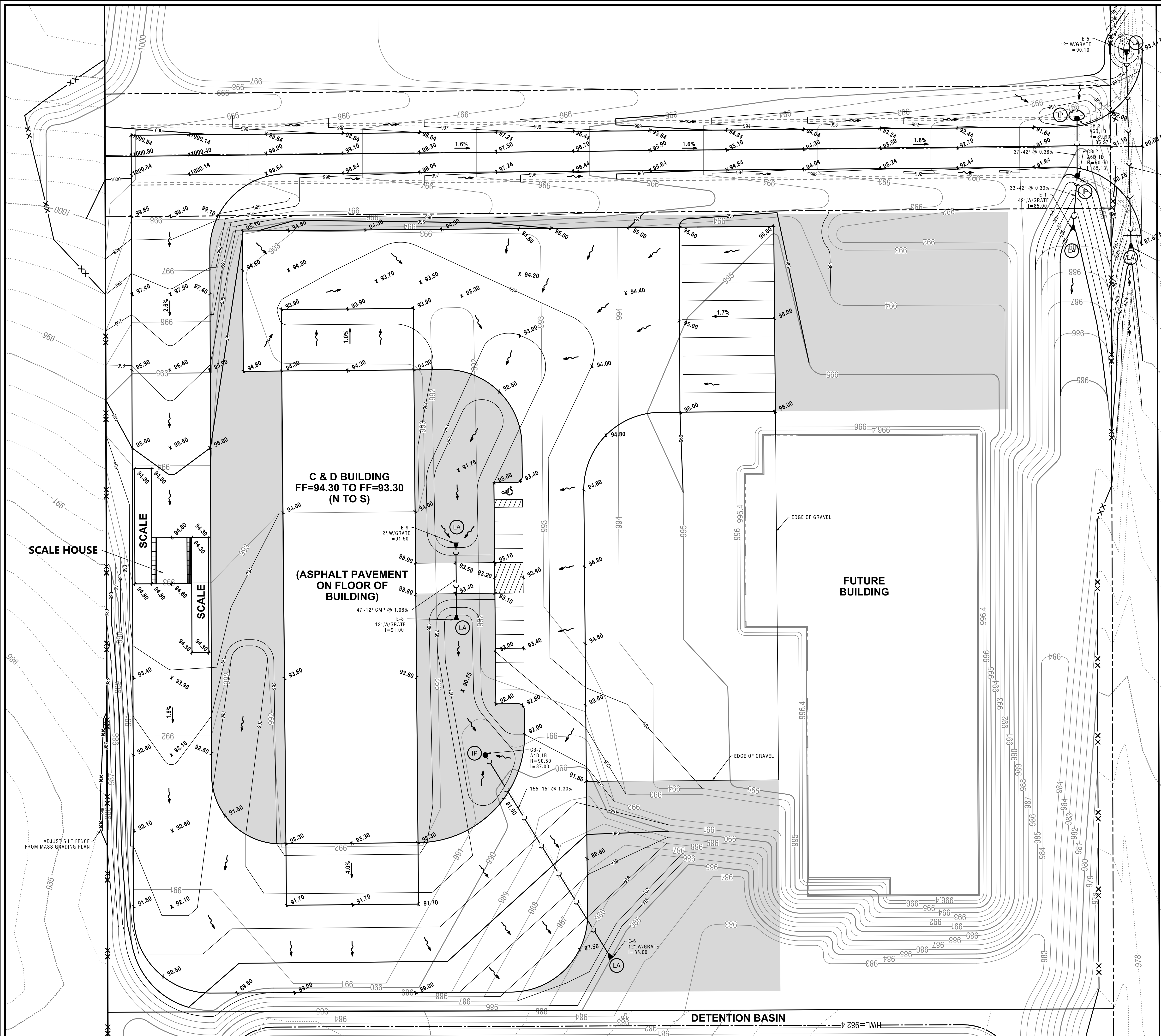
SPACECO INC.

FILENAME:
11250.03GN.DGN

DATE:
10/26/2021

JOB NO.
11250.03

SHEET
2 OF 5



LEGEND

- x XX.XX SPOT GRADE
- PROPOSED STORM SEWER
- ▼ PROPOSED FLARED END SECTION
- PROPOSED CATCH BASIN
- LOCAL DRAINAGE
- PROPOSED CONTOUR
- XX — SILT FENCE (PER MASS GRADING PLANS)
- ⊙ LA LINED APRON
- ⊙ IP INLET PROTECTION
- EROSION CONTROL BLANKET & SEEDING (PROVIDE MINIMUM 6" TOPSOIL)

NOTES:

1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
2. ——— INDICATES TRENCH BACKFILL REQUIRED.
3. ADD 900 TO ELEVATIONS SHOWN AS XX.XX.
4. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
5. FRAME AND GRATE/LID FOR STORM STRUCTURES
1B - NEENAH R-4340-B BEEHIVE GRATE
6. SEE SHEET D1 FOR DETAILS.
7. SEE SHEET GN FOR METAL FLARED END SECTION FOR PIPE CULVERTS.

STORM STRUCTURE LEGEND

- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- M-100
- A4D,1P
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

STORM STRUCTURE & PIPE ABBREVIATIONS

- CB = CATCH BASIN
- E = FLARED END SECTION
- 1B = NEENAH R-4340-B BEEHIVE GRATE
- CMP = CORRUGATED METAL PIPE

BRIER HILL ROAD

C & D BUILDING
FF=94.30 TO FF=93.30
(N TO S)

(ASPHALT PAVEMENT ON FLOOR OF BUILDING)

FUTURE BUILDING

DETENTION BASIN

SCALE HOUSE

OUTFALL NAME OR NUMBER	INLET PIPE SIZE (Ø IN)	LENGTH OF APRON L (FT)	RIPRAP GRADATION	WIDTH OF APRON US FACE 3ø (FT)	WIDTH OF APRON D'S FACE 3ø+L (FT)	DEPTH OF RIPRAP Y (IN)
E-1	42	24	RR-4	12	36	20
E-4	12	10	RR-3	3	13	15
E-5	12	10	RR-3	3	13	15
E-6	15	12	RR-3	3.75	15.75	15
E-8	12	10	RR-3	3	13	15
E-9	12	10	RR-3	3	13	15

NO.	DATE	REMARKS

NO.	DATE	PER OWNER	REMARKS
2	11/04/21		
1	11/01/21		

GRADING PLAN
PHASE 1 - C & D SITE
HAMPSHIRE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-0660 Fax: (847) 696-4065

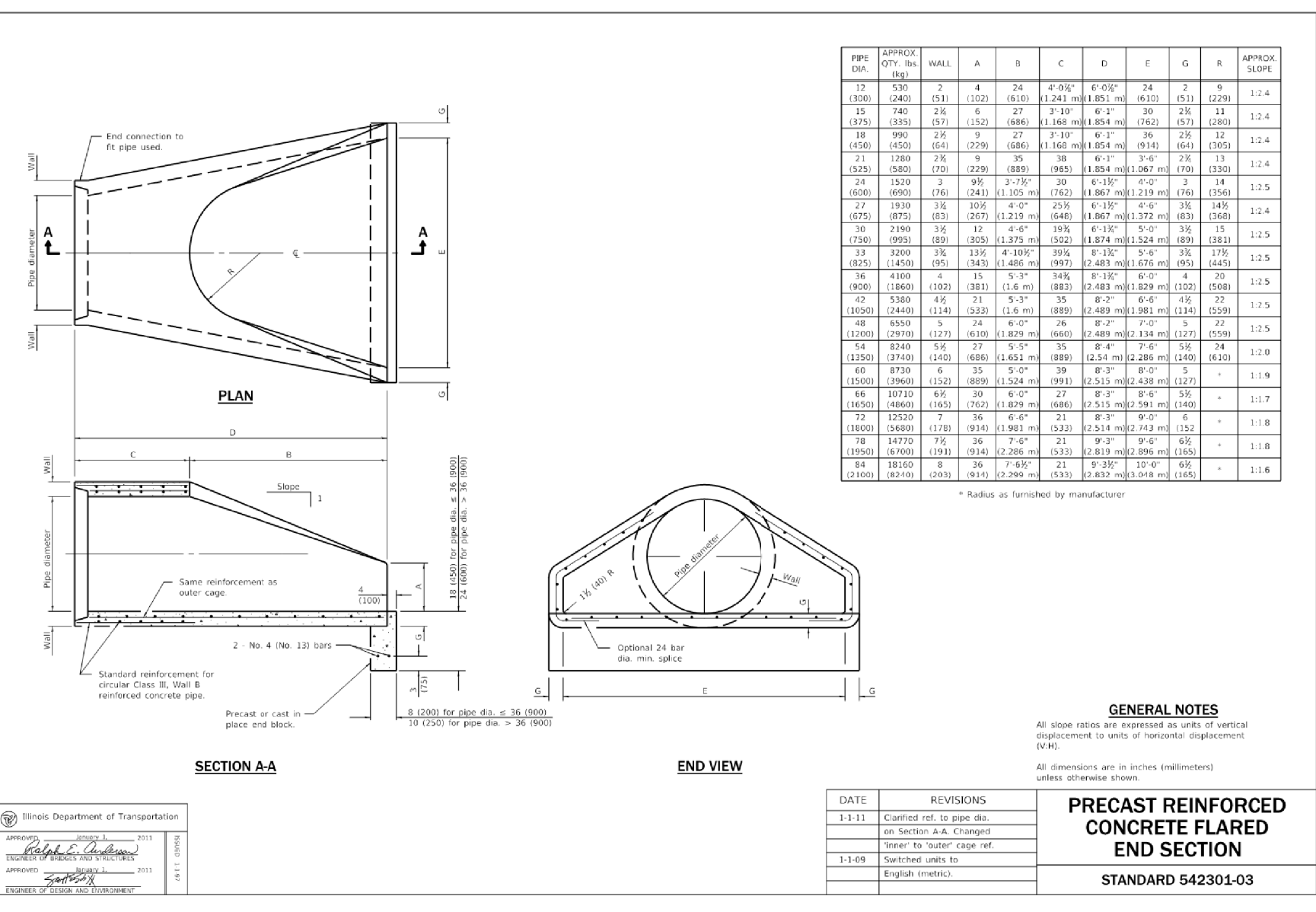


FILENAME:
11250.03GR.DGN

DATE:
10/26/2021

JOB NO.
11250.03

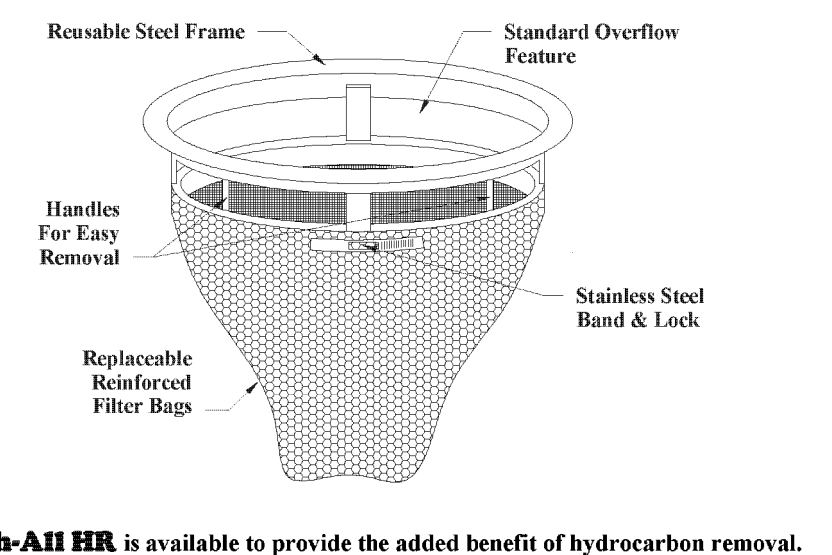
SHEET
GR
4 OF 5



REV.	DATE	DESCRIPTION
1	11/11/11	Initial design
2	11/11/11	Revised dimensions
3	11/11/11	Final design

DATE	REVISIONS
11/11/11	Initial design
11/11/11	Revised dimensions
11/11/11	Final design

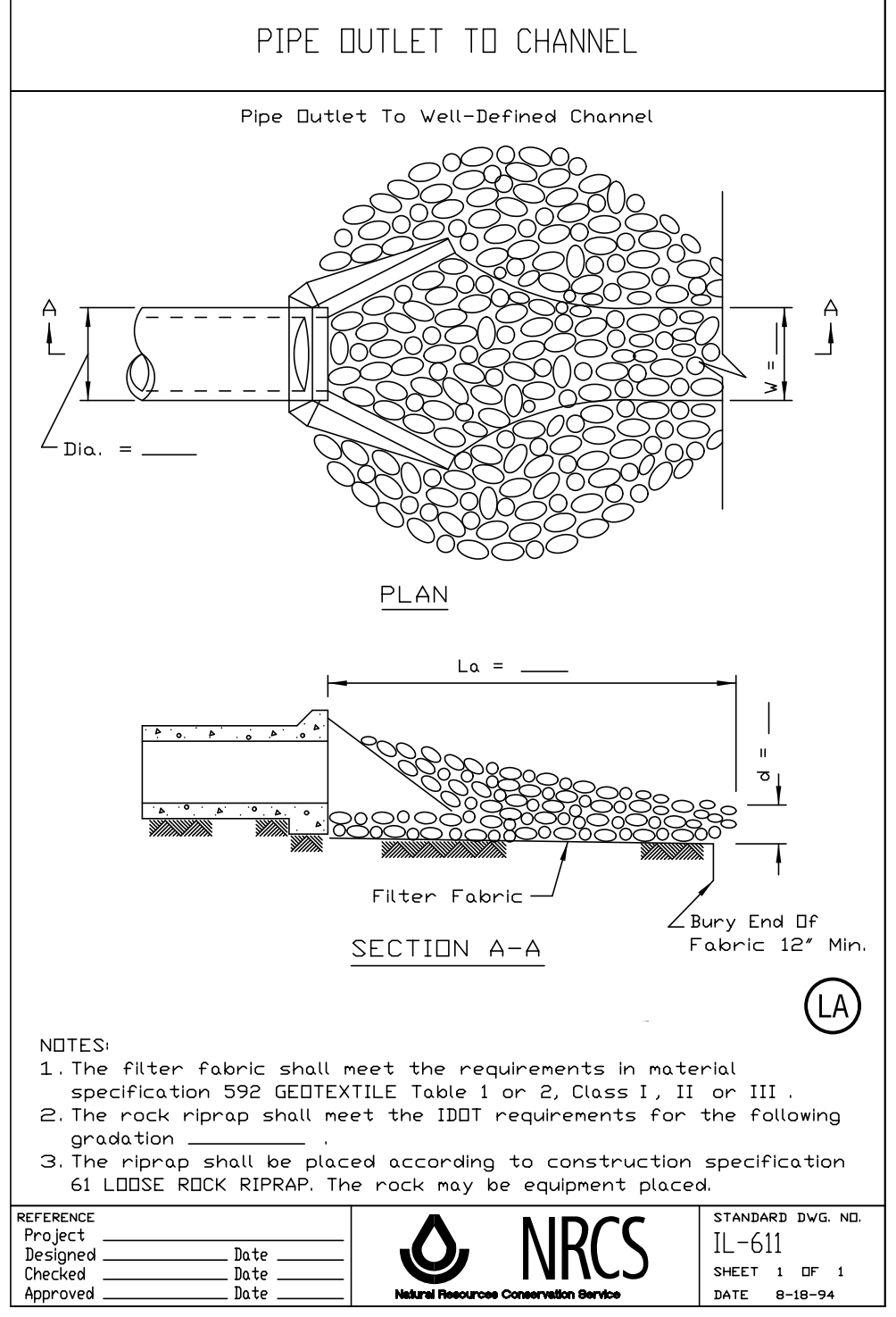
Catch-All is a manufactured inlet filtration device designed to significantly reduce the ingress of pollutants into stormwater systems, and therefore, improve water quality. Designs are available for a custom fit in virtually any drainage structure casting.



- Catch-All ER** is available to provide the added benefit of hydrocarbon removal.
- Design Benefits**
- Pollution Prevention
 - Sediment Control
 - Hydrocarbons (Catch-All HR)
 - Total Suspended Sediment
 - Phosphorus*
 - Nitrogen*
 - Heavy Metals*
 - By virtue of sediment control
 - Remainder BMP
 - Site Development & Highway Construction
 - Inlet Protection / Sediment Control
 - Permanent BMP
 - Maintenance Yards
 - Wash Bays
 - Parking Lots & Garages
 - Airports - Tarmacs, Cab/Limo Stands, Rental Returns
 - Bank/Fast Food Drive-Ups
 - Reduce Maintenance of Underground Detention Systems
 - Reduce Maintenance of Underground Oil/Water Separators



PLAN CODE: IP



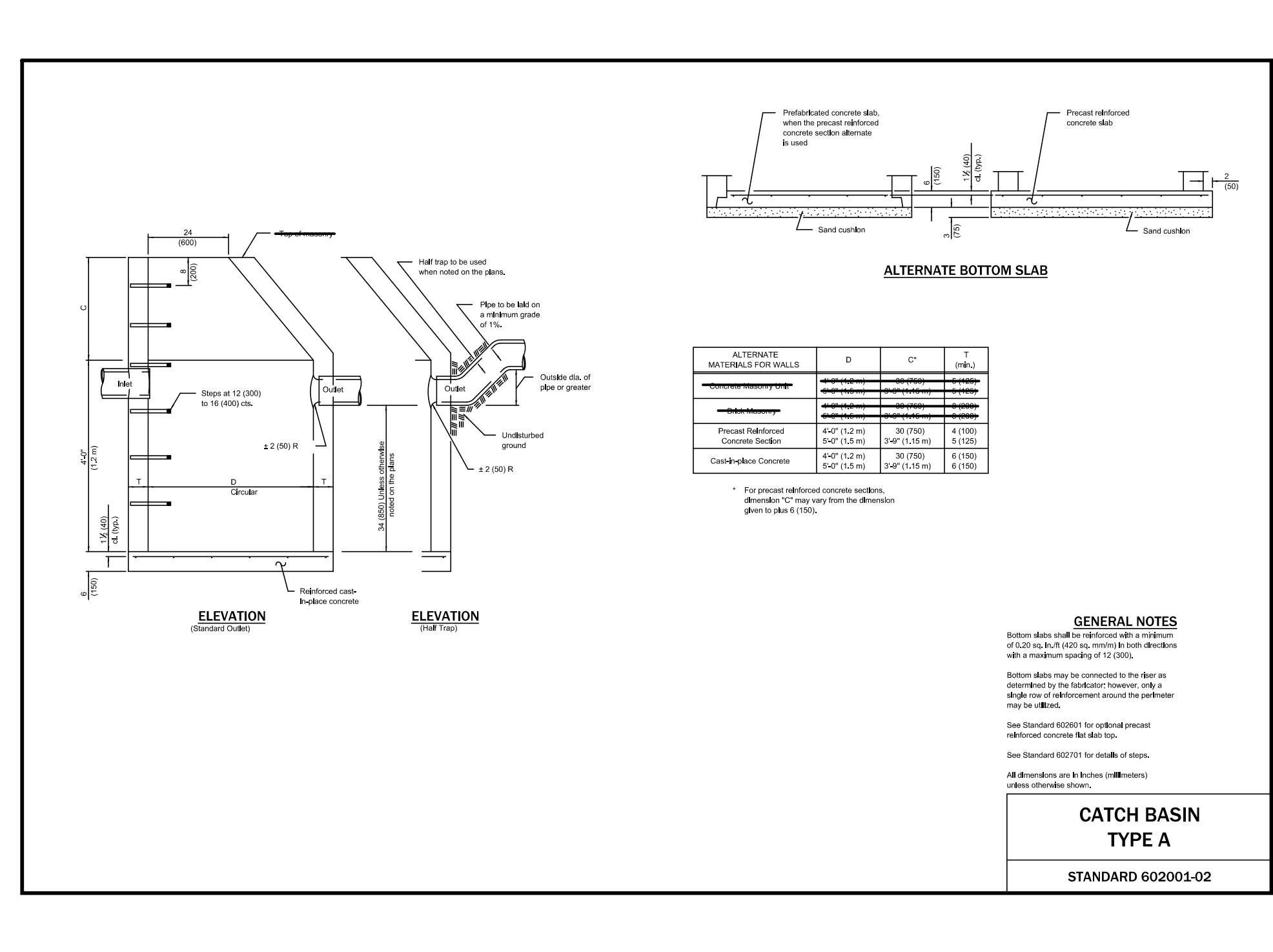
NOTES:

- The filter fabric shall meet the requirements in material specification 592 GEOTEXTILE Table 1 or 2, Class I, II or III.
- The rock riprap shall meet the IDOT requirements for the following gradation
- The riprap shall be placed according to construction specification 61 LODGE ROCK RIPRAP. The rock may be equipment placed.

REFERENCE:

Project	Date
Designed	Date
Checked	Date
Approved	Date

STANDARD DWG. NO. IL-611
SHEET 1 OF 1
DATE: 8-18-94

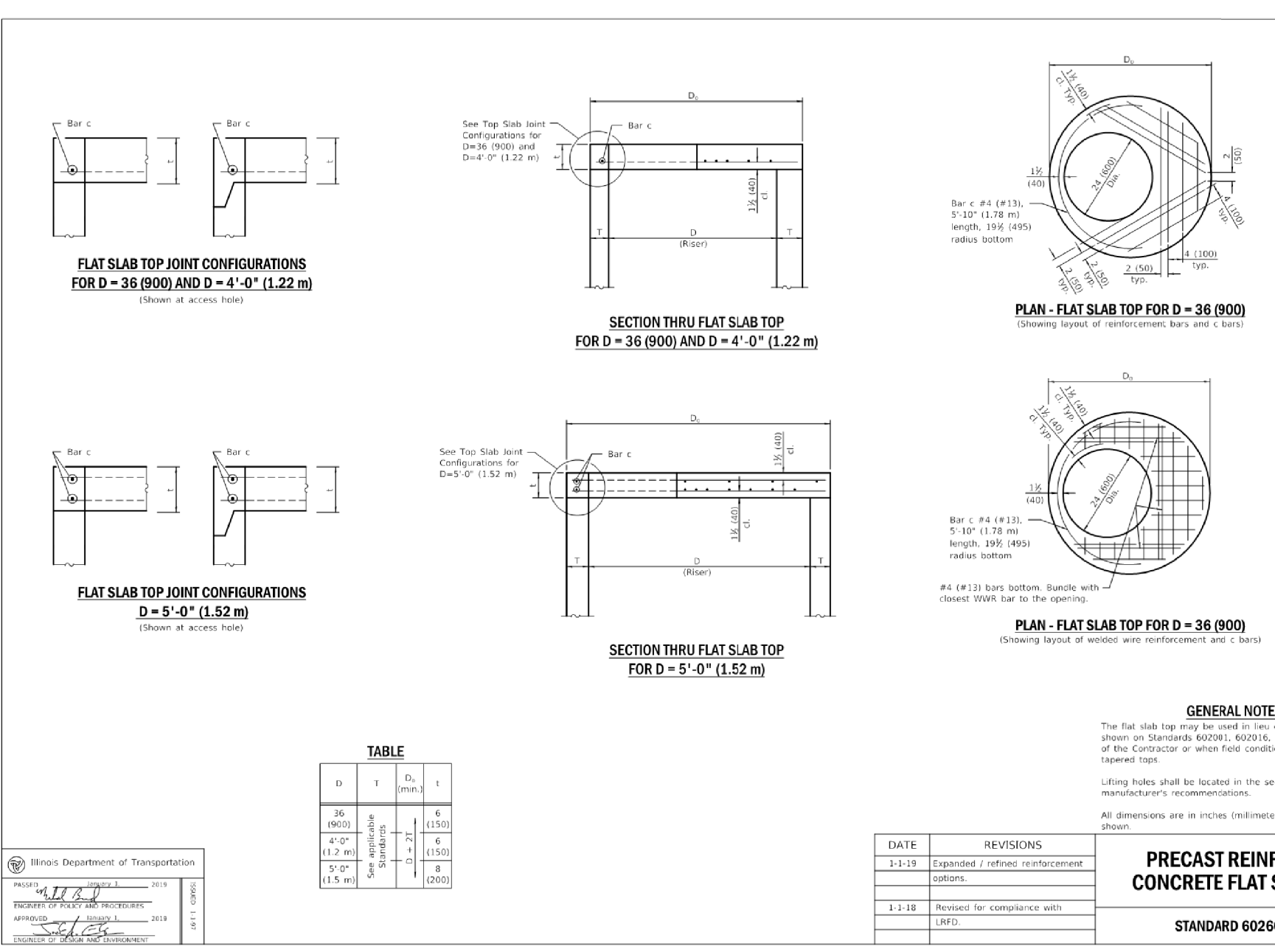


MATERIALS FOR WALLS	D	D'	T	WALL
Alternate 1	36"	36"	12"	12"
Alternate 2	36"	36"	12"	12"
Alternate 3	36"	36"	12"	12"

GENERAL NOTES

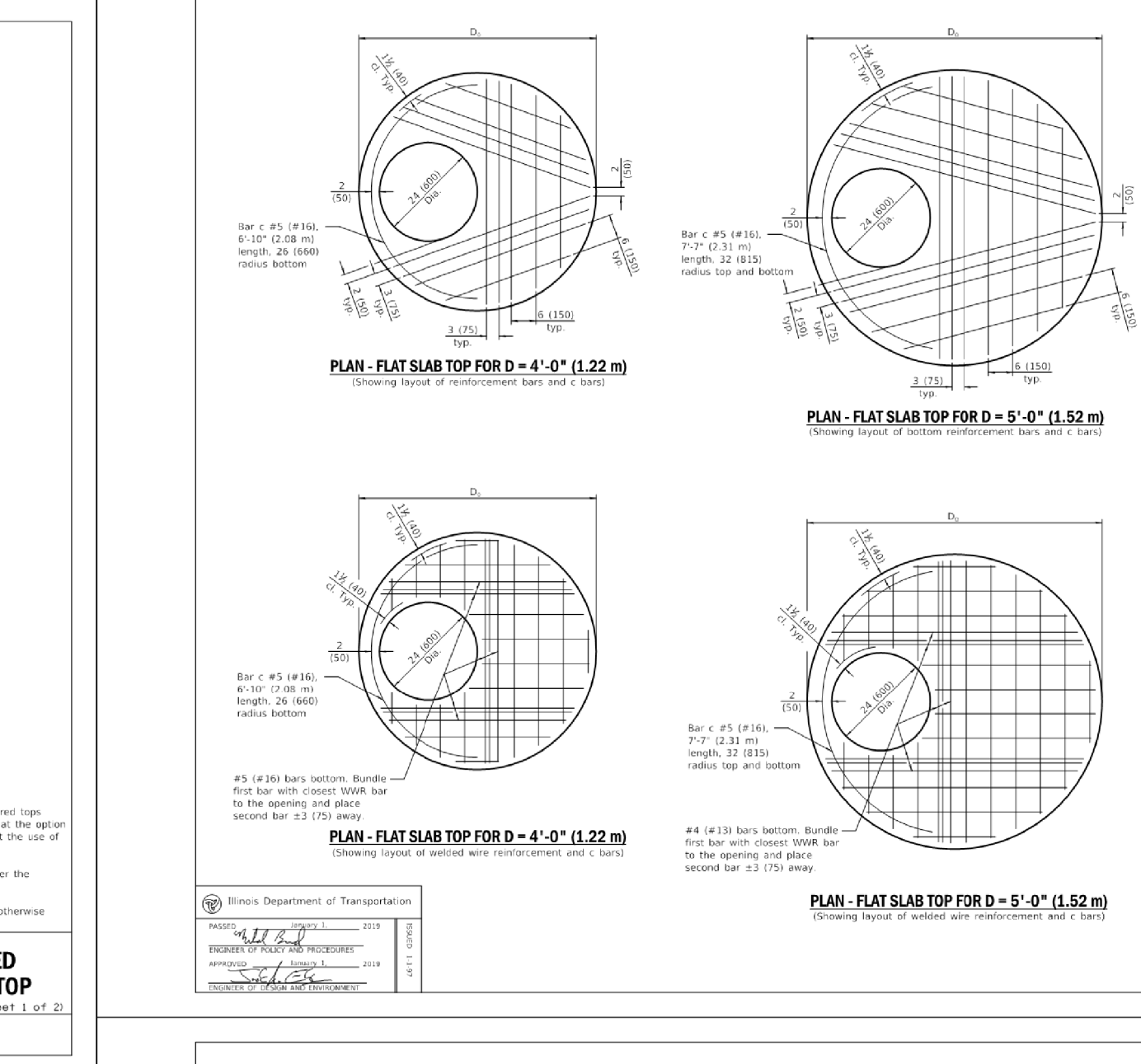
- Bottom slab may be connected to the floor as indicated by the fabricator however, only a single row of reinforcement around the perimeter will be allowed.
- See Standard 602001 for optional precast reinforced concrete bottom slab.
- See Standard 602001 for details of items.
- All dimensions are in inches (Ø in mm) unless otherwise shown.

CATCH BASIN TYPE A
STANDARD 602001-02



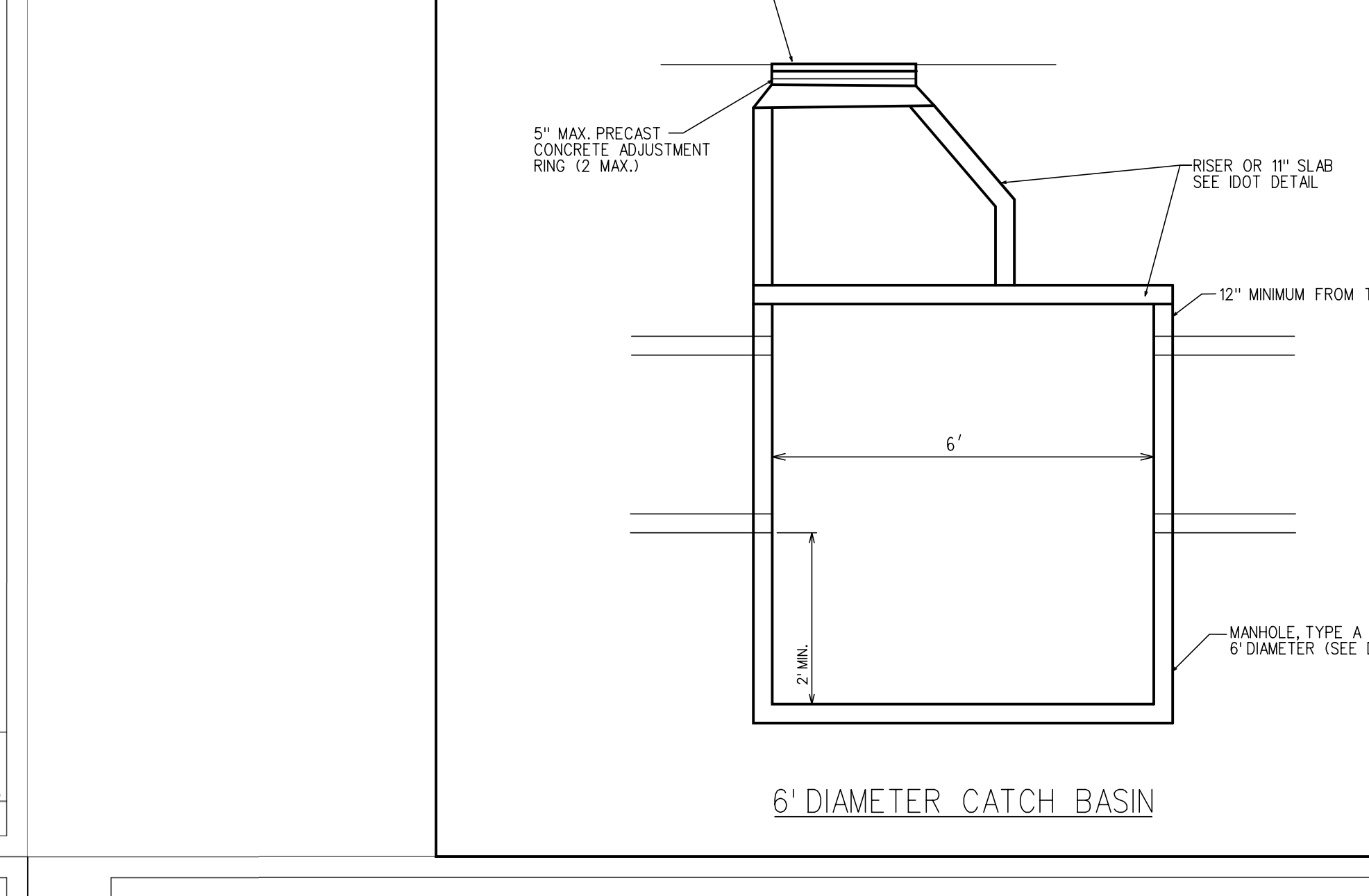
REV.	DATE	DESCRIPTION
1	11/11/11	Initial design
2	11/11/11	Revised dimensions
3	11/11/11	Final design

DATE	REVISIONS
11/11/11	Initial design
11/11/11	Revised dimensions
11/11/11	Final design



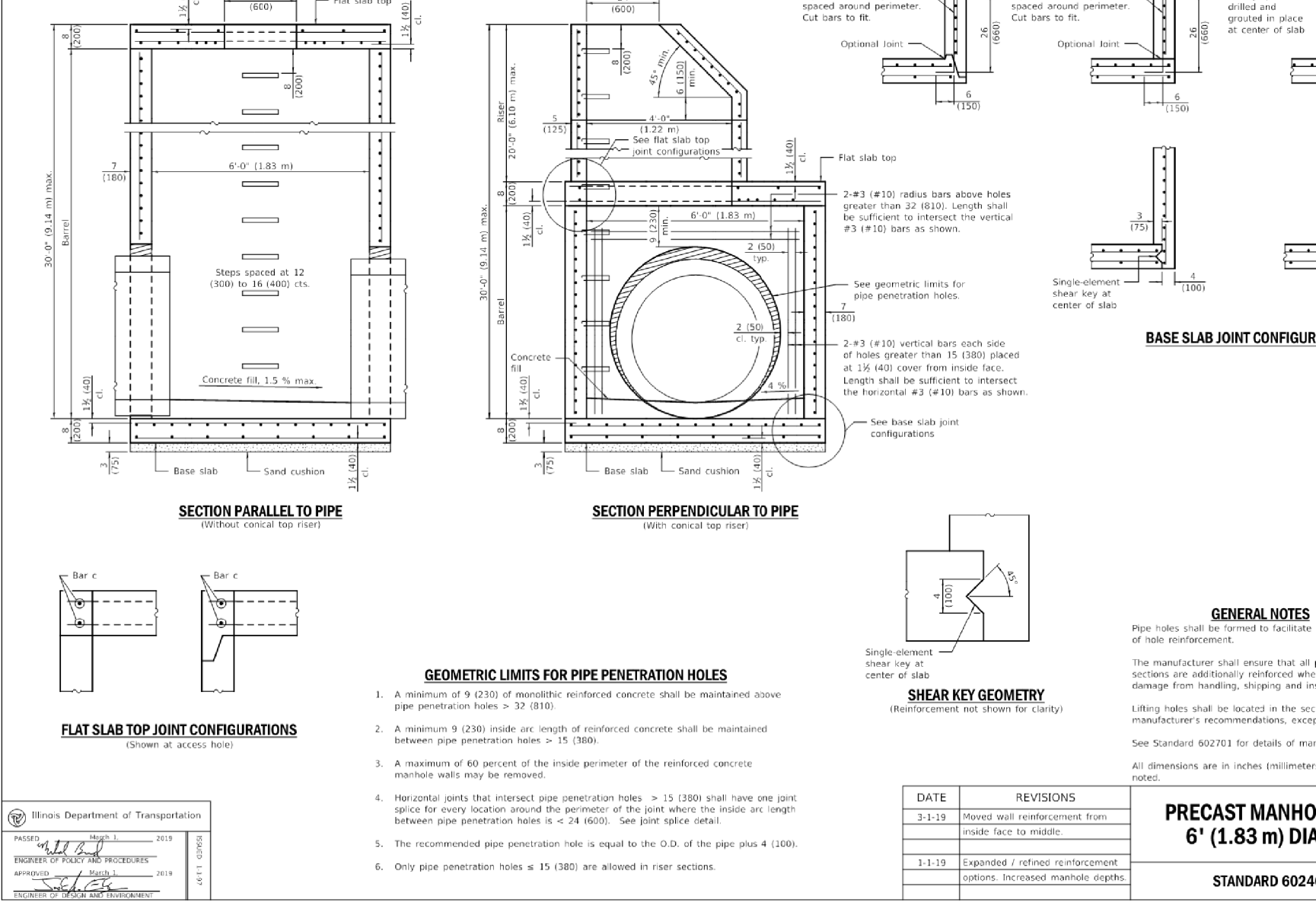
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2	11/11/11	Revised dimensions
3	11/11/11	Final design

DATE	REVISIONS
11/11/11	Initial design
11/11/11	Revised dimensions
11/11/11	Final design



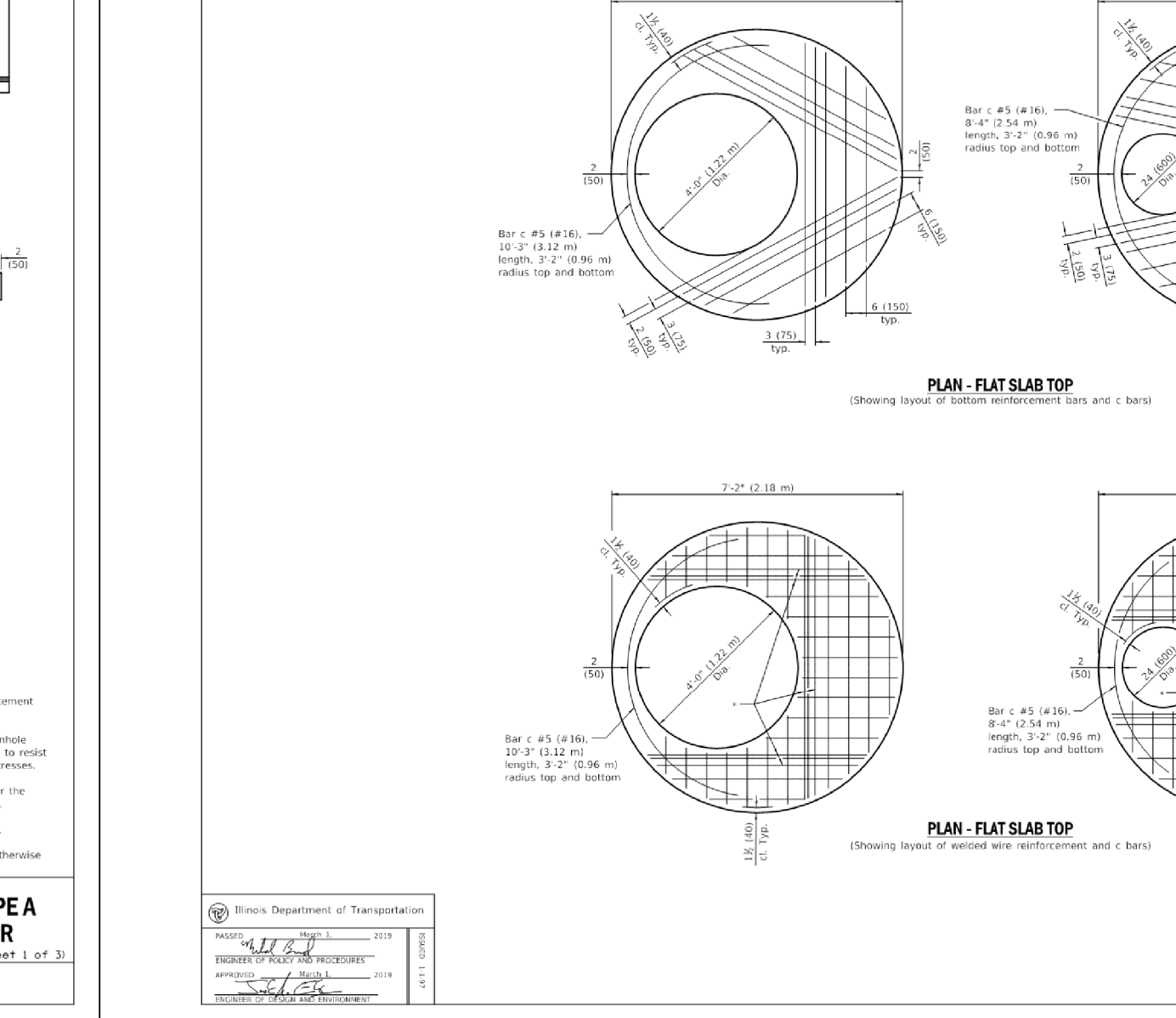
Location	WALL REINFORCEMENT	WALL OR SLAB	REINFORCING (INCHES)
4 ft. 11.22 in. Ø Pipe	Vertical	Ø 12 in. rebar	12 in.
6 ft. 11.83 in. Ø Manhole	Vertical	Ø 12 in. rebar	12 in.

6' DIAMETER CATCH BASIN



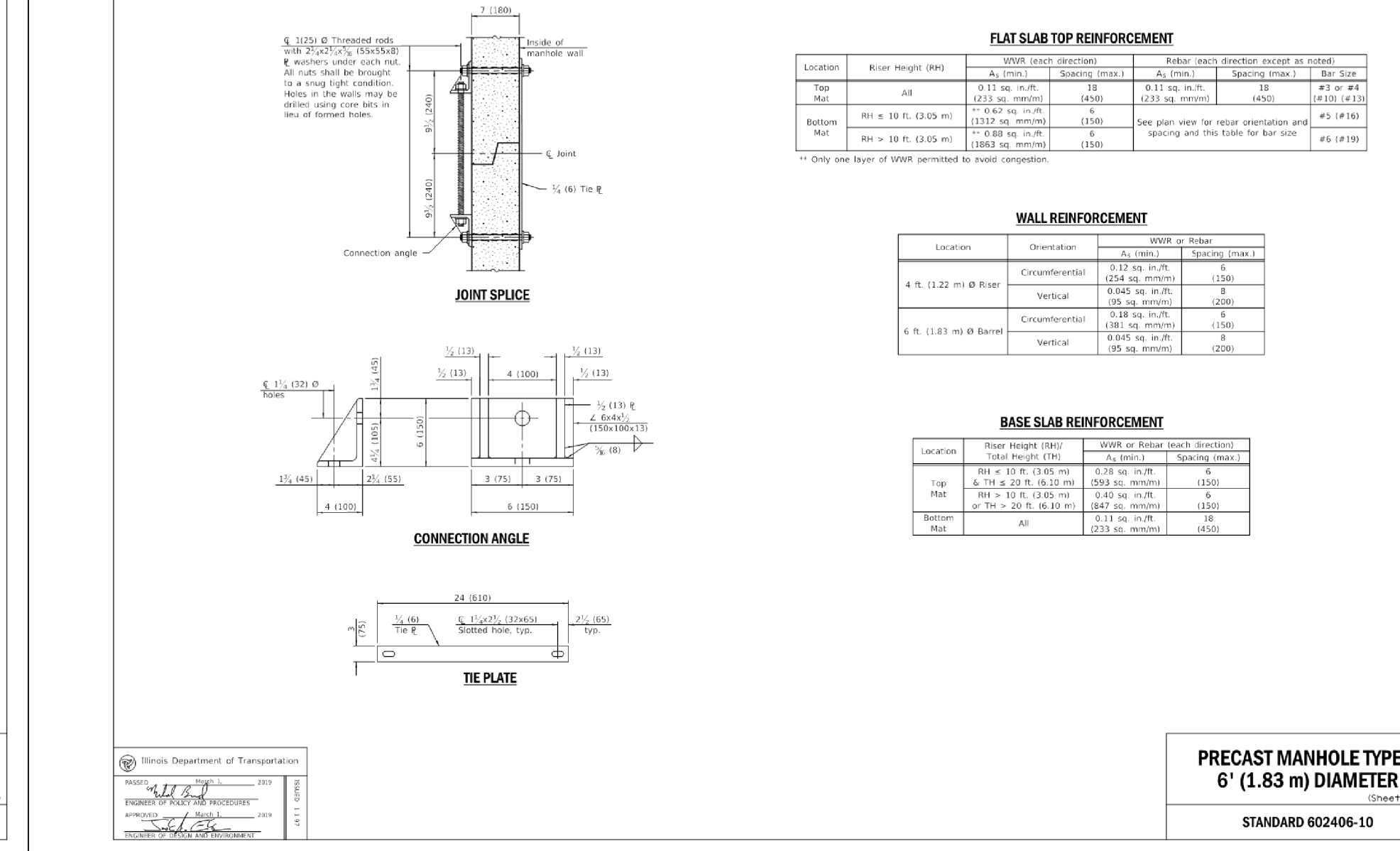
REV.	DATE	DESCRIPTION
1	11/11/11	Initial design
2	11/11/11	Revised dimensions
3	11/11/11	Final design

DATE	REVISIONS
11/11/11	Initial design
11/11/11	Revised dimensions
11/11/11	Final design



REV.	DATE	DESCRIPTION
1	11/11/11	Initial design
2	11/11/11	Revised dimensions
3	11/11/11	Final design

DATE	REVISIONS
11/11/11	Initial design
11/11/11	Revised dimensions
11/11/11	Final design



Location	WALL REINFORCEMENT	WALL OR SLAB	REINFORCING (INCHES)
4 ft. 11.22 in. Ø Pipe	Vertical	Ø 12 in. rebar	12 in.
6 ft. 11.83 in. Ø Manhole	Vertical	Ø 12 in. rebar	12 in.

6' DIAMETER CATCH BASIN

NO.	DATE	REMARKS
1	11/01/21	PER OWNER

PHASE 1 - C & D SITE
HAMPSHIRE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (647) 696-0600 Fax: (647) 696-4065

SPACECO INC.

FILENAME: 11250MG-DET01.DGN
DATE: 10/26/2021
JOB NO. 11250.03
SHEET D1 OF 5

**VILLAGE OF HAMPSHIRE
PLANNING & ZONING COMMISSION**

IN RE: The Petition of Brier Hill Ventures, LLC, for a variance of the requirements of the Village Zoning Regulations, Section 6-11-2(J), requiring that all parking of motor vehicles be on a dustless surface, to allow for parking of motor vehicles on a gravel surface on certain portions of the site.

FINDINGS OF FACT

In regard to the Petition of Brier Hill Ventures, LLC, for a variance of the requirements of the Village Zoning Regulations, Section 6-11-2(J), requiring that all parking of motor vehicles be on a dustless surface, to allow for parking of motor vehicles on a gravel surface on certain portions of the site, the Planning & Zoning Commission having considered the application, and the testimony and evidence submitted at a public hearing, the Planning & Zoning Commission FINDS as follows:

1. A Petition for a variance of the requirements of the Village Zoning Regulations, Section 6-11-2(J), requiring that all parking of motor vehicles be on a dustless surface, to allow for parking of motor vehicles on a gravel surface on certain portions of the site, has been filed with the Village Clerk by Brier Hill Ventures, LLC, for the following legally described property:

That part of the Southwest Quarter of Section 24 and part of the Northwest Quarter of Section 25, Township 42 North, Range 6 East of the Third Principal Meridian, described more particularly as follows:

Commencing at the Southeast corner of said Southwest Quarter of Section 24; thence South 89 degrees 21 minutes 37 seconds West (bearing based on NAD 83 Illinois State Plane Coordinate System, East Zone (2011 adjustment)), along the South line of said Southwest Quarter, 30.00 feet to the apparent west right of way line of Brier Hill Road as occupied and shown on document 2017K030623, said line being 30.00 feet West of and parallel to the east line of said Northwest Quarter of Section 25, said point also being the point of beginning; thence South 00 degrees 09 minutes 45 seconds East along said west line, 584.10 feet to a point on the north line of Soo Line Railroad (also or formerly known as Chicago, Milwaukee, St. Rail and Pacific Railroad Company), said line being 50.00 feet north of and parallel to the centerline of said railroad as occupied; thence North 64 degrees 11 minutes 05 seconds West along said north line, 728.47 feet; thence North 00 degrees 09 minutes 45 seconds West parallel with the said east line of Section 25, 259.56 feet to a point on the north line of said Northwest Quarter; thence North 00 degrees 11 minutes 33 seconds West parallel with the said east line of Section 24, 734.58 feet; thence North 89 degrees 29 minutes 56 seconds East parallel with the north line of the Southeast Quarter

of the Southwest Quarter of said Section 24, 654.88 feet to a point on said apparent west right of way line of Brier Hill Road as occupied; thence South 00 degrees 11 minutes 33 seconds East parallel with a line 30.00 feet west of and parallel to the east line of said Southwest Quarter of Section 24 and also along said apparent west line of Brier Hill Road, 733.00 feet to the point of beginning, all in Kane County, Illinois.

Containing 756,783 square feet or 17.373 acres, more or less.

PIN: 01-23-300-008 and 01-25-100-009 (portions of each parcel)

Common Address: Brier Hill Road, south of Allen Road, Hampshire, Illinois

2. A Public Hearing on the Petition was conducted by the Planning & Zoning Commission at its regular meeting on April 25, 2022.
3. Notice of Public Hearing on said Petition was published in the Daily Herald newspaper on April 8, 2022.
4. Notice of the Public Hearing was also posted on the property not less than fifteen days prior to the public hearing.
5. At the public hearing, Steve Berglund addressed the Commission regarding the site plan for the premises, and the requests for variations. No member(s) of the public attended the public hearing / commented on the Petition.
6. Access to the Subject Property will be from Brier Hill Road.
7. The proposed gravel area will be used primarily for equipment storage, including roll-off containers, but may include some long-term vehicle parking.
8. The proposed gravel area will not be used for daily traffic or parking.
7. The existing uses near the area proposed to be gravel are industrial.
8. A gravel area allows for more percolation of surface waters compared to an impervious asphalt or concrete pad.
9. A concrete or asphalt pad would not hold up to the heavy weight loads of the equipment and vehicles driven onto and/or parked on it, so repairs to the pad would be needed more frequently than usual.

10. The area proposed to be gravel will not be visible from Brier Hill Road due to higher topography of the area vis-à-vis the roadway, future landscaping, future fencing, and a future building all between the proposed area and Brier Hill Road.

11. The Planning & Zoning Commission considered the following standards in regard to the request for a variance:

- a. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; and
- b. That the plight of the owner is due to unique circumstances; and
- c. The variation, if granted, will not alter the essential character of the locality.

12. The Planning & Zoning Commission also considered the following supplemental standards in regard to the request for a variance:

- a. That the particular physical surroundings, shape, topographical conditions of the specific property involved would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulation were to be carried out; and
- b. That the conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification; and
- c. That the purpose of the variation is not based exclusively upon a desire to make a greater economic return from the property; and
- d. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property; and
- e. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements to the neighborhood in which the property is located; and
- f. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire or otherwise endanger public safety, or substantially diminish or impair property values within the neighborhood.

13. Additional Findings by the Planning & Zoning Commission: The procedures for the Planning & Zoning Commission provide as follows, in § 6-14-3(B)(2) of the Village Code:

- a. The Planning & Zoning Commission shall decide matters as authorized by this Chapter in a specific case and after public hearing.
- b. A concurring vote of four (4) members of the Planning & Zoning Commission shall be necessary on any matter upon which it is authorized to decide by this Chapter.

ACTION

On motion by A. Neal, seconded by H. Hoffman, to recommend approval of a variation of the requirements of the Village Zoning Regulations, Section 6-11-2(J), requiring that all parking of motor vehicles be on a dustless surface, to allow for parking of motor vehicles on a gravel surface on certain portions of the site as described in the site plan provided by SPACECO Inc. and dated October 26, 2021, the vote was 5 ayes, 1 nay. Motion passed.

	Aye	Nay	Absent
R. Frillman	X		
H. Hoffman	X		
A. Neal	X		
L. Rapach	X		
W. Rossetti		X	
S. McBride	X		
B. Mroch (chair)			

RECOMMENDATION: The motion of the Planning & Zoning Commission for approval of the requested variations having received not less than four concurring votes, it is accordingly the recommendation of the Planning & Zoning Commission that the Petition for Variance be approved.

Dated: May 5, 2022

Respectfully submitted,

VILLAGE OF HAMPSHIRE PLANNING &
ZONING COMMISSION

By: Bryan Mroch, Chair

No. 22 -

**AN ORDINANCE
GRANTING A VARIANCE IN THE M-2 GENERAL INDUSTRIAL
ZONING DISTRICT TO ALLOW FOR PARKING OF MOTOR
VEHICLES ON A GRAVEL SURFACE
(Brier Hill Ventures – Midwest Companies Development)**

WHEREAS, certain property located on Brier Hill Road, north of the Soo Line Railroad tracks and south of Allen Road and as legally described on the attached Exhibit “A” in the Village (the “Subject Property”) is currently classified in the M-2 General Industrial Zoning District; and

WHEREAS, Brier Hill Ventures, LLC as owner of the Subject Property has filed a Petition for Variance from the requirements of the Zoning Regulations, Section 6-11-2(J), to allow for parking of motor vehicles used in the operation of its proposed recycling facility on a gravel surface; and

WHEREAS, a public hearing regarding the Petition for Variance was conducted by the Hampshire Zoning Board of Appeals on April 25, 2022, pursuant to Notice published in the Daily Herald newspaper on April 8, 2022, and

WHEREAS, the Planning & Zoning Commission, after considering the testimony and exhibits presented at the public hearing, has made certain Findings of Fact and has recommended to the Village Board of Trustees that the requested variance be granted; and

WHEREAS, the Corporate Authorities have determined it to be in the best interests of the Village that such petition for variance be approved.

NOW THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, KANE COUNTY, ILLINOIS, AS FOLLOWS:

Section 1: The petition of Brier Hill Ventures, LLC, for a variance of the requirements of the Village Zoning Regulations, Section 6-11-2(J), requiring that all parking of motor vehicles be on a dustless surface, to allow for parking of motor vehicles on a gravel surface on the property described on Exhibit “A,” shall be and is approved.

Section 2. This grant of variation shall be subject to the following conditions:

- a. Owner shall construct any and all improvements on the Subject Property, including any vehicle parking areas to be improved with gravel surface, only in substantial compliance with the Site Improvement Plan Phase 1 – C&D Site prepared by SPACECO Inc. dated October 26, 2021.

- b. Owner shall comply with all other applicable codes and ordinances.
- c. The grant of a variance shall expire if not commenced by Owner within two years of the date of passage of this Ordinance.

Section 3. This Ordinance shall take effect upon its passage and approval as provided by law.

ADOPTED THIS _____ DAY OF _____, 2022.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

APPROVED THIS ____ DAY OF _____, 2022.

Michael J. Reid, Jr.
Village President

ATTEST:

Linda Vasquez
Village Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

That part of the Southwest Quarter of Section 24 and part of the Northwest Quarter of Section 25, Township 42 North, Range 6 East of the Third Principal Meridian, described more particularly as follows:

Commencing at the Southeast corner of said Southwest Quarter of Section 24; thence South 89 degrees 21 minutes 37 seconds West (bearing based on NAD 83 Illinois State Plane Coordinate System, East Zone (2011 adjustment)), along the South line of said Southwest Quarter, 30.00 feet to the apparent west right of way line of Brier Hill Road as occupied and shown on document 2017K030623, said line being 30.00 feet West of and parallel to the east line of said Northwest Quarter of Section 25, said point also being the point of beginning; thence South 00 degrees 09 minutes 45 seconds East along said west line, 584.10 feet to a point on the north line of Soo Line Railroad (also or formerly known as Chicago, Milwaukee, St. Rail and Pacific Railroad Company), said line being 50.00 feet north of and parallel to the centerline of said railroad as occupied; thence North 64 degrees 11 minutes 05 seconds West along said north line, 728.47 feet; thence North 00 degrees 09 minutes 45 seconds West parallel with the said east line of Section 25, 259.56 feet to a point on the north line of said Northwest Quarter; thence North 00 degrees 11 minutes 33 seconds West parallel with the said east line of Section 24, 734.58 feet; thence North 89 degrees 29 minutes 56 seconds East parallel with the north line of the Southeast Quarter of the Southwest Quarter of said Section 24, 654.88 feet to a point on said apparent west right of way line of Brier Hill Road as occupied; thence South 00 degrees 11 minutes 33 seconds East parallel with a line 30.00 feet west of and parallel to the east line of said Southwest Quarter of Section 24 and also along said apparent west line of Brier Hill Road, 733.00 feet to the point of beginning, all in Kane County, Illinois.

Containing 756,783 square feet or 17.373 acres, more or less.

PIN: 01-23-300-008 and 01-25-100-009 (portions of each parcel)
Common Address: Brier Hill Road, south of Allen Road, Hampshire, Illinois

No. 22 -

**AN ORDINANCE
PROPOSING THE ESTABLISHMENT OF SPECIAL SERVICE AREA # 28
IN THE VILLAGE OF HAMPSHIRE
(Houston Parkway Property – Allen Road –
Maintenance of Stormwater Facilities)**

WHEREAS, the Village may consider and establish certain special service areas within its municipal limits, pursuant to Article VII, Section 7(6) of the Constitution of the State of Illinois, and pursuant to the provisions of “An Act to provide the manner of levying or imposing taxes for the provisions of special service to areas within the boundaries of home rule units and non-home rule municipalities and counties,” 35 ILCS 200/27-5 et seq.; and

WHEREAS, the following described territory, described on Exhibit “A” attached hereto and incorporated herein by this reference, and owned by Houston Parkway, LLC, is improved with certain stormwater management facilities (the “Facilities”); and

WHEREAS, the Facilities have been designed for stormwater management purposes and the Owner of the land described on Exhibit “A” has acknowledged both that the Facilities will provide an indirect benefit of compensatory storage of stormwater for properties in the Village other than the property described on Exhibit “A,” specifically, to the properties described on Exhibit “B” attached hereto and incorporated herein by this reference, and that the territory is not included in the Special Service Area; and

WHEREAS, as to this proposal to establish a new Special Service Area in the Village for the purposes set forth herein, the Corporate Authorities find as follows:

- A. It is in the public interest that the creation of the area hereinafter described be considered as a Special Service Area for the purposes set forth herein;
- B. Said area is compact and is contiguous;
- C. Said area will benefit specially from the following municipal services to be provided in the area, to wit:

Maintenance of the stormwater management measures located on the Subject Property, consisting of a detention / retention basin (the "Facility"), including the operation, maintenance, repair, rehabilitation, replacement and reconstruction of any components of said Facility, including the costs of consulting services, surveying and permits, public liability insurance, and all administrative, legal and other costs or expenses necessarily incurred in connection with the administration of the Facility, including also but not limited to erosion control, nuisance

control and sedimentation control, sediment removal, structural maintenance and replacement, removal of debris, and/or re-grading, re-seeding, or re-planting, as from time to time deemed necessary and appropriate in accordance with the requirements of the Village Code and/or the Kane County Stormwater Regulations (the "Services").

- D. That a special service area may be created not only for primary responsibility for such services, but also as a back-up vehicle to provide funds for such services in the event that the owner shall fail or refuse to provide such maintenance as otherwise is required by the Village's Stormwater Regulations; and
- E. The proposed Services are in addition to municipal services provided in the Village as a whole, and it is, therefore, in the best interest of the Village that the levy of special taxes in said area for the services to be provided be considered.

WHEREAS, the Village Manager has determined the maximum tax rate required to produce a tax to be levied upon all taxable property within the area, sufficient for the Services for maintenance of the Facilities, and said tax rate shall be and is incorporated herein; and

WHEREAS, said annual rate shall be levied and extended only in the event that the owner of the Subject Property, its successors or assigns, designated as having primary responsibility for the Services for maintenance of the Facilities, fail(s) to adequately carry out its duties under the terms of the Village's Stormwater Regulations, after written notice specifying the defects in such maintenance, or payment, and failure thereafter to remedy same for a period of not less than fifteen (15) days; and then, said annual rate shall be levied and extended as necessary to produce revenue sufficient to provide for the Services for proper maintenance of the Facilities, or to reimburse the Village for the costs of the Services, which levy shall be in addition to all other taxes permitted by law.

NOW THEREFORE BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, KANE COUNTY, ILLINOIS, AS FOLLOWS:

1. A public hearing shall be held on July 20, 2022 commencing at 7:00 p.m. at the Hampshire Village Hall, 234 South State Street, Hampshire, Illinois to consider the creation of Special Service Area # 28 of the Village of Hampshire, in the territory in the Village, legally described as set forth on Exhibit "A," for the purposes of providing the Services.

2. At the Public Hearing, there will be considered a special tax at a maximum rate equal to \$1.50 per \$100.00 of equalized assessed valuation of all property located within the proposed Special Service Area, to be levied by ordinance duly enacted by the Corporate Authorities of the Village in accordance with the conditions expressed in this

Ordinance for the estimated costs of such Services, or in the alternative, for reimbursement of the actual costs incurred by the Village in providing such Services, as provided by the terms and provisions of the Settlement Agreement.

3. Notice of the Public Hearing shall be published at least once, and not less than fifteen (15) days prior to the date described in Paragraph 1 above for the public hearing, in one or more newspapers in general circulation in the Village.

4. In addition, notice by mailing shall be given by depositing said Notice in the U.S. mails addressed to the person or persons in whose name the general taxes for the last preceding year were paid on each lot, block, tract or parcel of land lying within the proposed Special Service Area. Said Notice shall be mailed not less than ten (10) days prior to the time set for the Public Hearing. In the event taxes for the last preceding year were not paid, the Notice shall be sent to the person last listed as the owner of the property, on the tax rolls before such year.

5. The Village shall produce and file, if necessary, such forms, statements, proceedings, and supporting documents as may be required, and in a timely manner, in order to establish the Area and to levy all taxes and if deemed necessary or advisable by its officers.

6. The Recitals set forth above are hereby incorporated herein and made a part of this Ordinance.

7. All ordinances, resolutions, motions and orders, and parts thereof, in conflict with this Ordinance shall be and are, to the extent of any such conflict, hereby superseded and waived.

8. If any section, subdivision, sentence or phrase of this Ordinance is for any reason held to be void, invalid, or unconstitutional, such decision shall not affect the validity of the remaining portions of this Ordinance

9. This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

ADOPTED THIS ____ DAY OF _____, 2022, pursuant to roll call vote as follows:

AYES: _____

NAYS: _____

ABSTAIN: _____

ABSENT: _____

APPROVED THIS ____ DAY OF _____, 2022.

Michael J. Reid, Jr.
Village President

ATTEST:

Linda Vasquez
Village Clerk

EXHIBIT A

Legal Description of Houston Parkway Property

Parcel 1: The East Half of the Southwest Quarter of the Northwest Quarter; the West Half of the Southeast Quarter of the Northwest Quarter; and the West Half of the Southeast Quarter of the Southeast Quarter of the Northwest Quarter (specifically excluding that portion of the subject property located North of the centerline of Allen Road) more or less, all in Section 22, Township 42 North, Range 6 East of the Third Principal Meridian (except that part described as follows:

That part of the Southeast Quarter of the Northwest Quarter of Section 22, Township 42 North, Range 6 East of the Third Principal Meridian, in Kane County, Illinois, described as follows: Commencing at the Southeast corner of the Northwest Quarter of Section 22; thence North along the East line thereof 1320.0 feet more or less, to a point marking the Northeast corner of the Southeast Quarter of the Northwest Quarter of Section 22; thence West along the North line of said Southeast Quarter of the Northwest Quarter of section 22, a distance of 594.91 feet to a point marking the Northwest corner of the Cramsey property for a place of beginning; thence South at an angle of 90 degrees 2 minutes, turned clockwise from the last described course, along the West line of the said Cramsey property 660.0 feet to a point marking the Southwest corner of the Cramsey property; thence West parallel with the North line of said Southeast Quarter of the Northwest Quarter of section 22, a distance of 100.00 feet to a point; thence North parallel with the West line of the Cramsey property to a point on the said North line of the aforesaid Southeast Quarter of the Northwest Quarter of section 22, said point being 100.00 feet West of the place of beginning; thence East along the said North line 100.00 feet to the place of beginning) in the village of Hampshire, Kane County, Illinois.

PIN: 01-22-100-039
Common Address: 46W704 Allen Road, Hampshire, IL

Exhibit B

**Legal Description of Properties for Compensatory Storage
(and not included in Special Service Area)**

Parcel 2: That part of the Northeast Quarter of the Southwest Quarter of Section 22, Township 42 North, Range 6 East of the Third Principal Meridian, described as follows:

Commencing at the Southwest corner of the Northeast Quarter of said Southwest Quarter thence North along the West line of the Northeast Quarter of said Southwest Quarter 390 feet for the point of beginning thence North along said West line 446.35 feet; thence East parallel with the South line of the Northeast Quarter of said Southwest Quarter 170.73 feet thence South parallel with the West line of the Northeast Quarter of said Southwest Quarter 446.35 feet; thence West parallel with the South line of the Northeast Quarter of said Southwest Quarter 170.73 feet to the point of beginning, in the Village of Hampshire, Kane County, Illinois.

PIN: 01-22-326-032
Common Address: 364 Keys Avenue, Hampshire, IL

Parcel 3: That part of the Northeast Quarter of the Southwest Quarter of Section 22, Township 42 North, Range 6 East of the Third Principal Meridian, described as follows:

Commencing at the Southwest corner of the Northeast Quarter of said Southwest Quarter thence North along the west line of the Northeast Quarter of the Southwest Quarter, 390 feet, thence East parallel with the South line of the Northeast Quarter of said Southwest Quarter 170.73 feet to the point of beginning; thence North parallel with the West line of the Northeast Quarter of said Southwest Quarter 446.35 feet thence East parallel with the South line of the Northeast Quarter of said Southwest Quarter 170.73 feet thence South parallel with the West line of the Northeast Quarter of said Southwest Quarter 446.35 feet thence West parallel with the South line of the Northeast Quarter of the Southwest Quarter 170.73 feet to the point of beginning in the Village of Hampshire, Kane County, Illinois.

PIN: 01-22-326-035
Common Address; 364 Keyes Avenue, Hampshire, IL

Parcel 4: That part of the Northeast Quarter of the Southwest Quarter of Section 22, Township 42 North, Range 6 East of the Third Principal Meridian, described as follows:

Commencing at the Southwest corner of the Northeast Quarter of said Southwest Quarter thence Northerly along the West line of the Northeast Quarter of Said Southwest Quarter 836.35 feet; thence Easterly parallel with the North line of Keyes Avenue 341.46 feet for the point of beginning, thence continuing Easterly parallel with the North line of Keyes Avenue; 195.20 feet to the West line of Keyes Drive, thence Southerly along said West line, 446.35 feet to the North line of Keyes Avenue, thence Westerly along said North line 195.20 feet; thence Northerly parallel with the West line of Keyes Drive and parallel with the West line of the

Northeast Quarter of the Southwest Quarter of said Section 22, a distance of 446.35 feet to the point of beginning in the Township of Hampshire, Kane County, Illinois.

PIN: 01-22-326-033
Common Address: 364 Keyes Avenue, Hampshire, IL



Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: President Reid; Board of Trustees
FROM: Josh Wray, Assistant to the Village Manager
FOR: Village Board Meeting on May 5, 2022
RE: Home Occupations

Background: The Village currently allows a limited number of home occupations. Given the modern prevalence of home-based work, including online sales of various products, staff asks that the Village Board consider whether the current list of allowable home occupations is sufficient.

Staff was recently approached by a potential home business owner that would like to sell retail firearms where the entire operation would be online; no inventory or customers would ever be at the residence. This same type of home-based business is currently in operation at another Hampshire home since January 2020 when staff interpreted the code as sales being permitted if not expressly prohibited. A recent second inquiry resulted in a legal opinion to the contrary, that any use not expressly permitted, is prohibited, meaning home-based firearms sales as well as any other home-based business not listed below are prohibited.

Analysis: The currently permitted home occupations are:

- Art studio.
- Cottage food operations in compliance with the Food Handling Regulation Enforcement Act.
- Dressmaking.
- Home kitchen operations in compliance with the Food Handling Regulation Enforcement Act.
- Professional offices of a clergyman, lawyer, architect, engineer or accountant.
- Teaching - including musical instruments or dancing, but limited to one pupil at a time.

This list does not include the creation and sales of craft/novel products often sold at markets and special events, and it does not include any provisions specific to wholly online

businesses that do not have the same zoning concerns as regular business (e.g., customers, manufacturing, inventory, employees, etc.)

Alternatively, most communities in the area, including Huntley, Pingree Grove, Gilberts, Marengo, Genoa, Crystal Lake, do not keep a firm list of permitted uses. Rather, they have general regulations that allow for home occupations meeting standards for operations, employees, noise, signage, parking, etc. They also often have a list of prohibited uses in addition to those not meeting the standards of the general regulations. An example set of regulations from Huntley is attached.

Regarding the sale of firearms, a survey of nearby communities found that Gilberts, Pingree Grove, and Elburn prohibit firearms sales as a home occupation.

Action Requested: Consider the following questions:

1. Should the code be expanded specifically to include all online-only home occupations, including online sales of firearms?
2. Should the code be expanded to encompass more types of home occupations?

If any changes to the code are requested by the Village Board, staff will draft a text amendment that will then be reviewed at a public hearing before the Planning and Zoning Commission and will then come back to the Village Board for final approval.



April 26, 2022

Mr. Jay Hedges (Via E-Mail)
Village Manager
234 S State Street
Hampshire, IL 60140

**Re: Engineer's Payment Estimate No. 1
Connection Water Main**

Mr. Hedges:

This is to certify that work in the amount of **\$214,835.40** for the Connection Water Main project is due to Kane County Excavating, PO Box 554, Hampshire, IL 60140, in accordance with our engineer's payment estimate referenced above and attached hereto.

Also enclosed is a copy of the invoice and waiver of lien submitted to us by Kane County Excavating. If you have any questions or require additional information, please call.

Respectfully submitted,

ENGINEERING ENTERPRISES, INC.

Kyle D. Welte, P.E.
Project Manager

Enclosures

pc: Ms. Lori Lyons, Village Finance Director (Via E-Mail)
Ms. Linda Vasquez, Village Clerk (Via E-Mail)
Ms. Debbie Dieckman, Kane County Excavating (Via E-Mail)
TNP, JAM – EEI (Via E-Mail)

ENGINEERS PAYMENT ESTIMATE NO. 1
 CONNECTION WATER MAIN
 VILLAGE OF HAMPSHIRE

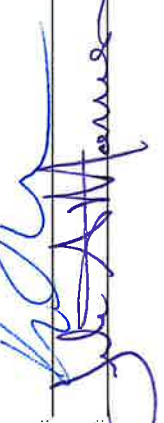
PAYABLE TO: KANE COUNTY EXCAVATING
 PO BOX 554
 HAMPSHIRE, IL 60140

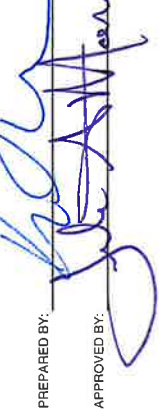
FROM: 4/15/2022 TO: 4/25/2022

ITEM NO.	ITEMS	UNIT	QUANTITY	AWARDED VALUE	ADDED QUANTITY	DEDUCTED QUANTITY	UNIT PRICE	COMPLETED QUANTITY THIS PAY PERIOD	COMPLETED VALUE THIS PAY PERIOD	TOTAL COMPLETED QUANTITY	TOTAL COMPLETED VALUE
1	TREE REMOVAL 6-15" DIAMETER	UNIT	8	\$ 400.00			\$ 50.00	0	\$ -	0	\$ -
2	CONNECT TO EXISTING WATER MAIN	EACH	4	\$ 2,000.00			\$ 500.00	0	\$ -	0	\$ -
3	WATER MAIN, 12-INCH, D.I.P. CL 52 WITH POLYETHYLENE WRAP	FOOT	2,970	\$ 387,865.00			\$ 129.50	1,500	\$ 180,750.00	1,500	\$ 180,750.00
4	WATER MAIN, 16-INCH, D.I.P. CL 52 WITH POLYETHYLENE WRAP	FOOT	22	\$ 180.00			\$ 180.00	0	\$ -	0	\$ -
5	GATE VALVE & VAULT, 12-INCH IN 60-INCH VAULT	EACH	3	\$ 16,650.00			\$ 5,550.00	0	\$ -	0	\$ -
6	BUTTERFLY VALVE & VAULT, 16-INCH IN 60-INCH VAULT	EACH	1	\$ 6,600.00			\$ 6,600.00	0	\$ -	0	\$ -
7	FIRE HYDRANT ASSEMBLY, WITH AUXILIARY VALVE, 6-INCH MJ	EACH	7	\$ 32,130.00			\$ 4,590.00	0	\$ -	0	\$ -
8	DUCTILE IRON FITTINGS	FOUND	3,585	\$ 28,321.50			\$ 7.90	0	\$ -	0	\$ -
9	LINE STOP, 12-INCH	EACH	1	\$ 5,100.00			\$ 5,100.00	0	\$ -	0	\$ -
10	STEEL CASING PIPE, 20-INCH (0.25" WALL THICKNESS) BORED AND JACKED	FOOT	115	\$ 40,250.00			\$ 350.00	115	\$ 40,250.00	115	\$ 40,250.00
11	FOUNDATION MATERIAL	CUYD	50	\$ 2,900.00			\$ 58.00	0	\$ -	0	\$ -
12	NON-SPECIAL, NON-HAZARDOUS WASTE REMOVAL - TYPE 1	TON	150	\$ 750.00			\$ 5.00	0	\$ -	0	\$ -
13	NON-SPECIAL, NON-HAZARDOUS WASTE REMOVAL - TYPE 2	TON	150	\$ 750.00			\$ 5.00	0	\$ -	0	\$ -
14	WATER MAIN TESTING - PRESSURE AND DISINFECTION	LSUM	1	\$ 2,500.00			\$ 2,500.00	0	\$ -	0	\$ -
15	HOT-MIX ASPHALT PAVEMENT REMOVAL	SOYD	2,250	\$ 5,017.50			\$ 2.23	0	\$ -	0	\$ -
16	CLASS D PATCH, 4"	SOYD	2,250	\$ 41,895.00			\$ 18.62	0	\$ -	0	\$ -
17	BITUMINOUS MATERIALS (TACK COAT)	LBS	3,075	\$ 1,845.00			\$ 0.60	0	\$ -	0	\$ -
18	HOT-MIX ASPHALT SURFACE REMOVAL BUTT JOINT	SOYD	36	\$ 1,270.08			\$ 35.28	0	\$ -	0	\$ -
19	HOT-MIX ASPHALT SURFACE REMOVAL, 2"	SOYD	6,750	\$ 13,972.50			\$ 2.07	0	\$ -	0	\$ -
20	HOT-MIX ASPHALT SURFACE COURSE, MIX "D" N60	TON	800	\$ 63,280.00			\$ 79.10	0	\$ -	0	\$ -
21	HOT-MIX ASPHALT BIKE PATH REMOVAL AND REPLACEMENT	SOYD	35	\$ 2,177.00			\$ 62.20	0	\$ -	0	\$ -
22	STORM SEWERS, REINFORCED CONCRETE PIPE (RCP), 12" W/ RUBBER GASKETS	FOOT	57	\$ 1,881.00			\$ 33.00	0	\$ -	0	\$ -
23	CONCRETE CURB AND GUTTER REMOVAL AND REPLACEMENT	FOOT	30	\$ 1,650.00			\$ 55.00	0	\$ -	0	\$ -
24	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	950	\$ 1,330.00			\$ 1.40	0	\$ -	0	\$ -
25	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	30	\$ 258.80			\$ 8.66	0	\$ -	0	\$ -
26	12" PRC FES W/GRATE	EACH	4	\$ 3,000.00			\$ 750.00	0	\$ -	0	\$ -
27	FIRE HYDRANT REMOVAL	EACH	1	\$ 350.00			\$ 350.00	0	\$ -	0	\$ -
28	VALVE VAULT TO BE ABANDONED	EACH	1	\$ 150.00			\$ 150.00	0	\$ -	0	\$ -
29	DISCONNECT AND ABANDON EXISTING WATER MAIN	EACH	1	\$ 1,200.00			\$ 1,200.00	0	\$ -	0	\$ -
30	CORRUGATED METAL PIPE	FOOT	57	\$ 171.00			\$ 3.00	0	\$ -	0	\$ -
31	FURNISH PRV STATION (COMPLETE)	LSUM	1	\$ 138,200.00			\$ 138,200.00	0.13	\$ 17,706.00	0.13	\$ 17,706.00
32	INSTALLATION OF PRV STATION (INCLUDES CONNECTION TO 12" W/14" DIA. PVC SUMP DISCHARGE LINE)	LSUM	1	\$ 8,682.00			\$ 8,682.00	0	\$ -	0	\$ -
33	106" X 106" X 10' REINFORCED CONCRETE BASE PAD INCLUDING ANCHOR BOLTS AND ALL REQUIRED EXCAVATION AND TRENCH BACKFILL FOR PRV STATION TO THE PRV STATION	LSUM	1	\$ 5,450.00			\$ 5,450.00	0	\$ -	0	\$ -
34	ELECTRICAL SERVICE, INCLUDES INSTALLATION OF SERVICE FROM COMED TRANSFORMER TO THE PRV STATION	LSUM	1	\$ 9,500.00			\$ 9,500.00	0	\$ -	0	\$ -
35	TESTING AND DISINFECTION - PRV STATION	LSUM	1	\$ 750.00			\$ 750.00	0	\$ -	0	\$ -
36	FIELD TILE REPLACEMENT	FOOT	100	\$ 250.00			\$ 2.50	0	\$ -	0	\$ -
37	RESTORATION	SOYD	4,000	\$ 8,000.00			\$ 2.00	0	\$ -	0	\$ -
38	TRAFFIC CONTROL AND PROTECTION	LSUM	1	\$ 14,000.00			\$ 14,000.00	0	\$ -	0	\$ -
39	WELL NO. 7 - MOTOR, PUMP, DISCHARGE COLUMN, FITLESS ADAPTER, AND APPURTENANCES REMOVAL AND DISPOSAL	LSUM	1	\$ 22,900.00			\$ 22,900.00	0	\$ -	0	\$ -
40	WELL NO. 7 - CHLORINATED PEA GRAVEL, DEPTH 722' TO 997'	CUFT	216	\$ 2,289.60			\$ 10.60	0	\$ -	0	\$ -
41	WELL NO. 7 - BENTONITE PLUG, DEPTH 702' TO 722'	CUFT	16	\$ 1,170.24			\$ 73.14	0	\$ -	0	\$ -
42	WELL NO. 7 - CONCRETE PLUG, DEPTH 10' TO 702'	CUFT	543	\$ 20,145.30			\$ 37.10	0	\$ -	0	\$ -
43	WTP DEMOLITION	LSUM	1	\$ 39,750.00			\$ 39,750.00	0	\$ -	0	\$ -
44	4.1 WTP EQUIPMENT SPECIAL WASTE DISPOSAL: PLASTIC PIPING	CUFT	27	\$ 12,150.00			\$ 450.00	0	\$ -	0	\$ -
45	4.2 WTP ION EXCHANGE MEDIA ADDITIONAL TESTING	LSUM	1	\$ 6,800.00			\$ 6,800.00	0	\$ -	0	\$ -
46	4.3 WTP ADDITIONAL TESTING	LSUM	1	\$ 6,800.00			\$ 6,800.00	0	\$ -	0	\$ -
47	4.4 WTP EQUIPMENT SPECIAL WASTE DISPOSAL: ADDITIONAL SPECIAL WASTE DISPOSAL ALLOWANCE - ITEMS ORDERED BY THE ENGINEER	CUFT	27	\$ 12,150.00			\$ 450.00	0	\$ -	0	\$ -
48		CUFT	20,000	\$ 20,000.00			\$ 1.00	0	\$ -	0	\$ -
		BID VALUE AWARDED:		\$ 966,642.92							
		VALUE AWARDED:		\$ 966,642.92							
		VALUE COMPLETED - THIS REQUEST:		\$ 238,706.00							
		VALUE COMPLETED - THIS PAYMENT:		\$ 238,706.00							
		VALUE COMPLETED - TO DATE:		\$ 238,706.00							

MISCELLANEOUS ADDITIONS

QUANTITY	UNIT PRICE	VALUES
1		\$ -
2		\$ -
3		\$ -
TOTAL COMPLETED CONSTRUCTION COSTS		\$ 238,706.00
DEDUCT RETAINAGE (10%)		\$ 23,870.60
TOTAL AMOUNT DUE TO CONTRACTOR		\$ 214,835.40
TOTAL DEBITS		\$ -
NET AMOUNT DUE - THIS PAYMENT		\$ 214,835.40

PREPARED BY: 

APPROVED BY: 

ENGINEERING ENTERPRISES, INC.
 52 WHEELER ROAD

APPLICATION AND CERTIFICATION FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF 1 OF 2

OWNER **VILLAGE OF HAMPSHIRE** PROJECT: **CONNECTION WATER MAIN**

234 S. STATE STREET
HAMPSHIRE, IL 60140

APPLICATION NO: **1**
APPLICATION DATE: **4/25/2022**
PERIOD TO: **4/25/2022**

Distribution to:

<input type="checkbox"/>	OWNER
<input type="checkbox"/>	ARCHITECT
<input checked="" type="checkbox"/>	CONTRACTOR

ENGINEER ENGINEERING ENTERPRISES, INC.

FROM **Kane County Excavating**
P.O. Box 554
Hampshire, IL 60140

PROJECT NOS: **CONNECTION WATER MAIN**

CONTRACT FOR: **SITE UTILITIES-CONNECTION WATER MAIN**

CONTRACT DATE: **APRIL 6-2022**

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$	966,642.52
2. Net change by Change Orders	\$	0.00
3. CONTRACT SUM TO DATE (Line 1 ± 2)	\$	966,642.52
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	238,706.00
5. RETAINAGE:		
a. 10% of Completed Work (Column D + E on G703)	\$	23,870.60
b. (Column F on G703)	\$	\$0.00
Total Retainage (Lines 5a + 5b or Total in Column I of G703)	\$	23,870.60
6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total)	\$	214,835.40
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	0.00
8. CURRENT PAYMENT DUE	\$	214,835.40
9. BALANCE TO FINISH, INCL. RETAINAGE (Line 3 less Line 6)	\$	751,807.12

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

OFFICIAL SEAL

DEBORAH M DIECKMAN
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES: 06/08/24

CONTRACTOR:

[Signature]

By: _____ Date: 4-25-2022

State of: _____ County of: _____ day of _____

Subscribed and sworn to before me this _____ day of _____

Notary Public: *[Signature]* _____

My Commission expires: 6-8-2024

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 214,835.40

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

By: _____ Date: _____

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$0.00	0.00
Total approved this Month	\$0.00	0.00
TOTALS	\$0.00	0.00
NET CHANGES by Change Order	\$0.00	

CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: **1**
 APPLICATION DATE: **4/25/2022**
 PERIOD TO: **4/25/2022**
 ARCHITECT'S PROJECT NO: **CONNECTION WATER MAIN**

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		E THIS PERIOD	F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE RATE) 10.00%
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
1	Total Contract (see attached breakout by line)	\$966,642.52	\$0.00	\$238,706.00	\$238,706.00		\$238,706.00	\$727,936.52	\$23,870.60
GRAND TOTALS		\$966,642.52	\$0.00	\$238,706.00	\$238,706.00	\$0.00	\$238,706.00	\$727,936.52	\$23,870.60

**BID SCHEDULE FOR
CONNECTION WATER MAIN**

ITEM NO.	ITEM	UNIT	QUANTITY	UNIT PRICE	AMOUNT	APRIL PERCENT COMPLETE	\$ AMOUNT	
1	TREE REMOVAL, 6-15" DIAMETER	UNIT	8	\$ 50.00	\$ 400.00	0.00%	\$ -	
2	CONNECT TO EXISTING WATER MAIN	EACH	4	\$ 500.00	\$ 2,000.00	0.00%	\$ -	
3	WATER MAIN, 12-INCH, D.I.P. CL 52 WITH POLYETHYLENE WRAP	FOOT	2970	\$ 120.50	\$ 357,885.00	50.51%	\$ 180,750.00	CORE AND MAIN
4	WATER MAIN, 16-INCH, D.I.P. CL 52 WITH POLYETHYLENE WRAP	FOOT	22	\$ 180.00	\$ 3,960.00	0.00%	\$ -	
5	GATE VALVE & VAULT, 12-INCH IN 60-INCH VAULT	EACH	3	\$ 5,550.00	\$ 16,650.00	0.00%	\$ -	
6	BUTTERFLY VALVE & VAULT, 16-INCH IN 60-INCH VAULT	EACH	1	\$ 6,600.00	\$ 6,600.00	0.00%	\$ -	
7	FIRE HYDRANT ASSEMBLY, WITH AUXILIARY VALVE, 6-INCH MJ	EACH	7	\$ 4,590.00	\$ 32,130.00	0.00%	\$ -	
8	DUCTILE IRON FITTINGS	POUN	3585	\$ 7.90	\$ 28,321.50	0.00%	\$ -	
9	LINE STOP, 12 INCH	EACH	1	\$ 5,100.00	\$ 5,100.00	0.00%	\$ -	
10	STEEL CASING PIPE, 20-INCH (0.25" WALL THICKNESS) BORED AND JACKED	FOOT	115	\$ 350.00	\$ 40,250.00	100.00%	\$ 40,250.00	BULLSEYE BORING
11	FOUNDATION MATERIAL	CUYD	50	\$ 58.00	\$ 2,900.00	0.00%	\$ -	
12	NON-SPECIAL, NON-HAZARDOUS WASTE REMOVAL - TYPE 1	TON	150	\$ 5.00	\$ 750.00	0.00%	\$ -	
13	NON-SPECIAL, NON-HAZARDOUS WASTE REMOVAL - TYPE 2	TON	150	\$ 5.00	\$ 750.00	0.00%	\$ -	
14	WATER MAIN TESTING - PRESSURE AND DISINFECTION	LSUM	1	\$ 2,500.00	\$ 2,500.00	0.00%	\$ -	
15	HOT-MIX ASPHALT PAVEMENT REMOVAL	SQYD	2250	\$ 2.23	\$ 5,017.50	0.00%	\$ -	
16	CLASS D PATCH, 4"	SQYD	2250	\$ 18.62	\$ 41,895.00	0.00%	\$ -	
17	BITUMINOUS MATERIALS (TACK COAT)	LB	3075	\$ 0.60	\$ 1,845.00	0.00%	\$ -	
18	HOT-MIX ASPHALT SURFACE REMOVAL, BUTT JOINT	SQYD	36	\$ 35.28	\$ 1,270.08	0.00%	\$ -	
19	HOT-MIX ASPHALT SURFACE REMOVAL, 2"	SQYD	6750	\$ 2.07	\$ 13,972.50	0.00%	\$ -	
20	HOT-MIX ASPHALT SURFACE COURSE, MIX "D" N50	TON	800	\$ 79.10	\$ 63,280.00	0.00%	\$ -	
21	HOT-MIX ASPHALT BIKE PATH REMOVAL AND REPLACEMENT	SQYD	35	\$ 62.20	\$ 2,177.00	0.00%	\$ -	
22	STORM SEWERS, REINFORCED CONCRETE PIPE (RCP), 12" W/ RUBBER GASKETS	FOOT	57	\$ 33.00	\$ 1,881.00	0.00%	\$ -	
23	CONCRETE CURB AND GUTTER REMOVAL AND REPLACEMENT	FOOT	30	\$ 55.00	\$ 1,650.00	0.00%	\$ -	
24	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	950	\$ 1.40	\$ 1,330.00	0.00%	\$ -	
25	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	30	\$ 8.66	\$ 259.80	0.00%	\$ -	
26	12" PRC FES W/ GRATE	EACH	4	\$ 750.00	\$ 3,000.00	0.00%	\$ -	
27	FIRE HYDRANT REMOVAL	EACH	1	\$ 350.00	\$ 350.00	0.00%	\$ -	
28	VALVE VAULT TO BE ABANDONED	EACH	1	\$ 150.00	\$ 150.00	0.00%	\$ -	
29	DISCONNECT AND ABANDON EXISTING WATER MAIN	EACH	1	\$ 1,200.00	\$ 1,200.00	0.00%	\$ -	
30	CORRUGATED METAL PIPE REMOVAL	FOOT	57	\$ 3.00	\$ 171.00	0.00%	\$ -	
31	FURNISH PRV STATION (COMPLETE)	LSUM	1	\$ 136,200.00	\$ 136,200.00	13.00%	\$ 17,706.00	EFI SOLUTIONS
32	INSTALLATION OF PRV STATION (INCLUDES CONNECTION TO 12" WM AND 4 1/4" DIA. PVC SLUMP DISCHARGE LINE)	LSUM	1	\$ 8,692.00	\$ 8,692.00	0.00%	\$ -	
33	106" x 106" x 10" REINFORCED CONCRETE BASE PAD INCLUDING ANCHOR BOLTS AND ALL REQUIRED EXCAVATION	LSUM	1	\$ 5,450.00	\$ 5,450.00	0.00%	\$ -	
34	ELECTRICAL SERVICE, INCLUDES INSTALLATION OF SERVICE FROM COMED TRANSFORMER TO THE PRV STATION	LSUM	1	\$ 9,500.00	\$ 9,500.00	0.00%	\$ -	
35	TESTING AND DISINFECTION - PRV STATION	LSUM	1	\$ 750.00	\$ 750.00	0.00%	\$ -	
36	FIELD TILE REPLACEMENT	FOOT	100	\$ 2.50	\$ 250.00	0.00%	\$ -	
37	RESTORATION	SQYD	4000	\$ 2.00	\$ 8,000.00	0.00%	\$ -	
38	TRAFFIC CONTROL AND PROTECTION	LSUM	1	\$ 14,000.00	\$ 14,000.00	0.00%	\$ -	
39	WELL NO. 7 - MOTOR, PUMP, DISCHARGE COLUMN, PITLESS ADAPTER AND APPURTENANCES REMOVAL AND DISPOSAL	LSUM	1	\$ 22,900.00	\$ 22,900.00	0.00%	\$ -	
40	WELL NO. 7 - CHLORINATED PEA GRAVEL, DEPTH 722' TO 997'	CUFT	216	\$ 10.60	\$ 2,289.60	0.00%	\$ -	
41	WELL NO. 7 - BENTONITE PLUG, DEPTH 702' TO 722'	CUFT	16	\$ 73.14	\$ 1,170.24	0.00%	\$ -	
42	WELL NO. 7 - CONCRETE PLUG, DEPTH 10' TO 702'	CUFT	543	\$ 37.10	\$ 20,145.30	0.00%	\$ -	
43	WTP DEMOLITION	LSUM	1	\$ 39,750.00	\$ 39,750.00	0.00%	\$ -	
44	4.1 WTP EQUIPMENT SPECIAL WASTE DISPOSAL: PLASTIC DRIVING	CUFT	27	\$ 450.00	\$ 12,150.00	0.00%	\$ -	
45	4.2 WTP ION EXCHANGE MEDIA ADDITIONAL TESTING	LSUM	1	\$ 6,800.00	\$ 6,800.00	0.00%	\$ -	
46	4.3 WTP ADDITIONAL TESTING	LSUM	1	\$ 6,800.00	\$ 6,800.00	0.00%	\$ -	
47	4.4 WTP EQUIPMENT SPECIAL WASTE DISPOSAL: ADDITIONAL SPECIAL WASTE DISPOSAL	CUFT	27	\$ 450.00	\$ 12,150.00	0.00%	\$ -	
48	ALLOWANCE - ITEMS ORDERED BY THE ENGINEER	UNIT	20,000	\$ 1.00	\$ 20,000.00	0.00%	\$ -	
					\$ 966,642.52	24.69%	\$ 238,706.00	



STATE OF ILLINOIS
 COUNTY OF Kane

WAIVER OF LIEN TO DATE

Gty #

Escrow #

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by KANE COUNTY EXCAVATING to furnish SITE UTILITIES for the premises known as CONNECTION WATER MAIN PROJECT-GAST ROAD of which VILLAGE OF HAMPSHIRE is the owner.

THE undersigned, for and in consideration of TWO HUNDRED FOURTEEN THOUSAND EIGHT HUNDRED THIRTY FIVE DOLLARS AND 40/100 (\$214835.40) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor, services, material, fixtures, apparatus or machinery, furnished to this date by the undersigned for the above-described premises, INCLUDING EXTRAS.*

DATE APRIL 27-2022 COMPANY NAME KANE COUNTY EXCAVATING
 ADDRESS P.O. BOX 354, HAMPSHIRE, IL 60140

SIGNATURE AND TITLE

[Handwritten Signature]

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS

COUNTY OF Kane

TO WHOM IT MAY CONCERN:

THE UNDERSIGNED, (NAME) JEFF DIECKMAN BEING DULY SWORN, DEPOSES AND SAYS THAT HE OR SHE IS (POSITION) PRESIDENT OF (COMPANY NAME) KANE COUNTY EXCAVATING WHO IS THE CONTRACTOR FURNISHING SITE UTILITIES WORK ON THE BUILDING LOCATED AT GAST ROAD, HAMPSHIRE IL 60140 OWNED BY VILLAGE OF HAMPSHIRE

That the total amount of the contract including extras* is \$966642.52 on which he or she has received payment of \$0.0 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and material required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDNG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
KANE COUNTY EXCAVATING	SITE UTILITIES	616543.12	0.0	5992.70	610550.42
CORE AND MAIN	JOB MATERIALS	180649.40	0.0	162584.50	18064.90
BULL'S EYE BORING	BORING	35300.00	0.0	31770.00	3530.00
EFI SOLUTIONS	PRV STATION	134150.00	0.0	14488.20	119661.80
TOTAL LABOR AND MATERIAL INCLUDING EXTRAS* TO COMPLETE.		966642.52	0.0	214835.40	751807.12

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

DATE 4-27-2022

SIGNATURE: *[Handwritten Signature]*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 27 DAY OF April 2022

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT.

[Handwritten Signature]





STATE OF ILLINOIS
 COUNTY OF KANE

WAIVER OF LIEN TO DATE

Gty #

Escrow #

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by KANE COUNTY EXCAVATING to furnish JOB MATERIALS for the premises known as CONNECTION WATER MAIN PROJECT-GAST ROAD of which VILLAGE OF HAMPSHIRE is the owner.

THE undersigned, for and in consideration of ONE HUNDRED SIXTY TWO THOUSAND FIVE HUNDRED EIGHTY FOUR DOLLARS AND 50/100

(\$162584.50) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor, services, material, fixtures, apparatus or machinery, furnished to this date by the undersigned for the above-described premises, INCLUDING EXTRAS.*

DATE 4/22/2022 COMPANY NAME Core and Main, LP
 ADDRESS 1830 Craig Park Court

SIGNATURE AND TITLE *[Signature]* Credit Associate

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS

COUNTY OF KANE

TO WHOM IT MAY CONCERN:

THE UNDERSIGNED, (NAME) Kaitlyn Hibdon BEING DULY SWORN, DEPOSES AND SAYS THAT HE OR SHE IS (POSITION) Credit Associate OF (COMPANY NAME) Core and Main, LP WHO IS THE CONTRACTOR FURNISHING JOB MATERIALS WORK ON THE BUILDING LOCATED AT GAST ROAD, HAMPSHIRE IL 60140 OWNED BY VILLAGE OF HAMPSHIRE

That the total amount of the contract including extras* is \$180649.40 on which he or she has received payment of \$0.0 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and material required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
CORE AND MAIN	JOB MATERIALS	180649.40	0.0	162584.50	18064.90
TOTAL LABOR AND MATERIAL INCLUDING EXTRAS* TO COMPLETE.		180649.40	0.0	162584.50	18064.90

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

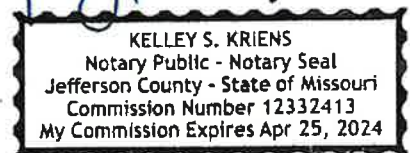
DATE April 27, 2022

SIGNATURE: *[Signature]*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 27th DAY OF April 2022

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT.

[Signature]
 NOTARY PUBLIC



WAIVER OF LIEN TO DATE



STATE OF ILLINOIS
COUNTY OF KANE

Gty #

Escrow #

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by KANE COUNTY EXCAVATING to furnish BORING for the premises known as CONNECTION WATER MAIN PROJECT-GAST ROAD of which VILLAGE OF HAMPSHIRE is the owner.

THE undersigned, for and in consideration of THIRTY ONE THOUSAND SEVEN HUNDRED SEVENTY (\$31770.00) Dollars, and other good and valuable considerations, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor, services, material, fixtures, apparatus or machinery, furnished to this date by the undersigned for the above-described premises, INCLUDING EXTRAS.*

DATE APRIL 25-2022 COMPANY NAME Bull's-Eye Boring, Inc.
ADDRESS 3220 21st St. Zion, IL 60099

SIGNATURE AND TITLE

[Handwritten Signature] Vice President

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS

COUNTY OF KANE

TO WHOM IT MAY CONCERN:

THE UNDERSIGNED, (NAME) Manuel Ballestero BEING DULY SWORN, DEPOSES AND SAYS THAT HE OR SHE IS (POSITION) Vice President OF (COMPANY NAME) Bull's-Eye Boring, Inc. WHO IS THE CONTRACTOR FURNISHING BORING WORK ON THE BUILDING LOCATED AT GAST ROAD, HAMPSHIRE IL 60140 OWNED BY VILLAGE OF HAMPSHIRE

That the total amount of the contract including extras* is \$35300.00 on which he or she has received payment of \$0.0 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that there is no claim either legal or equitable to defeat the validity of said waivers. That the following are the names and addresses of all parties who have furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor and material required to complete said work according to plans and specifications:

NAMES AND ADDRESSES	WHAT FOR	CONTRACT PRICE INCLDG EXTRAS*	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
BULL'S EYE BORING	BORING	35300.00	0.0	31770.00	3530.00
TOTAL LABOR AND MATERIAL INCLUDING EXTRAS* TO COMPLETE.		35300.00	0.0	31770.00	3530.00

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

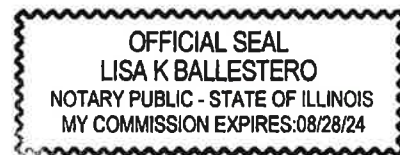
DATE 4/27/22

SIGNATURE: *[Handwritten Signature]*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 27th DAY OF April, 2022

*EXTRAS INCLUDE BUT ARE NOT LIMITED TO CHANGE ORDERS, BOTH ORAL AND WRITTEN, TO THE CONTRACT.

[Handwritten Signature]
NOTARY PUBLIC



Conditional Waiver and Release on Progress Payment

NOTICE: THIS DOCUMENT WAIVES THE CLAIMANT'S LIEN, STOP PAYMENT NOTICE, AND PAYMENT BOND RIGHTS EFFECTIVE ON RECEIPT OF PAYMENT. A PERSON SHOULD NOT RELY ON THIS DOCUMENT UNLESS SATISFIED THAT THE CLAIMANT HAS RECEIVED PAYMENT.

Identifying Information

Name of Claimant: EFI-SOLUTIONS
Name of Customer: KANE COUNTY EXCAVATING
Job Location: 94773 HAMPSHIRE IL
Owner:VILLAGE OF HAMPSHIRE
Job Name (if any): GAST ROAD PRV
Through Date: 2022-04-20

Conditional Waiver and Release


This document waives and releases lien, stop payment notice, and payment bond rights the claimant has for labor and service provided, and equipment and material delivered, to the customer on this job through the Through Date of this document, unless listed as an Exception below. This document is effective only on the claimant's receipt of payment from the financial institution on which the following check is drawn:

Maker of Check: KANE COUNTY EXCAVATING
Amount of Check: \$16,098.00
Check Payable To: EFI-SOLUTIONS

Exceptions

This document does not affect disputed claims for extras in the amount of \$0.00, retainage, or any previous progress payments for which the claimant has previously given a conditional waiver and release, but has not received payment.

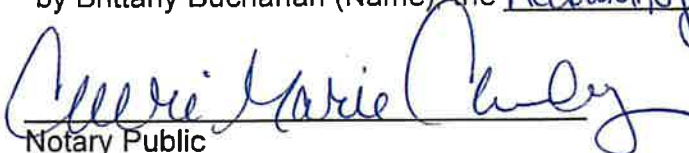
Signature



Brittany Buchanan
Accounting Specialist
EFI-Solutions
April 28, 2022

State of Illinois, County of Marion

This instrument was acknowledged before me on this 28th of April 2022 (Date),
by Brittany Buchanan (Name) the Accounting Specialist (Title) of EFI-Solutions.



Notary Public



Proposal Number 94773-18634-2
Issued: February 16, 2022

\$1,600/man day plus travel.

11. This proposal includes Parts and Labor Warranty for a period of a one (1) year after factory start-up service, otherwise as described in the Conditions of Sale.

Estimated Weight: 12,000 # Net Cost.....\$ 134,150

Submittal Delivery: 1-3 Weeks after order Excluding Holidays.
Manufacture Completion: 16-22 Weeks After Receipt of Approval Excluding Holidays.
EFI WILL SHIP THE EQUIPMENT TO THE JOB SITE WITHIN 7 TO 10 DAYS AFTER MANUFACTURE.

PAYMENT TERMS:

The price is firm if order is placed within 30 days from date of proposal and providing release to manufacture and ship "when ready" is given within 90 days. Payments are due Net 30 days of invoice/milestone. **Retainage of payment is not allowed.**

Monthly Progress Billing - Terms of payment will be Net 30 days subject to 1.5% per month late charge for past due accounts. Invoicing will be monthly, based upon the percentage of work completed during the billing period, and will be submitted to the Purchaser each month by an agreed upon date. The invoiced amount will reflect the value of the percentage of completion accomplished during the billing period for each of up to eight (8) categories: Engineering/Submittal Delivery, Approval of Submittals, Manufacture, Delivery, Onsite Services, *Start-up & Training, (*payment not to exceed sixty days after delivery for start-up and O&M milestones) *O&M/ Spare Parts, and Punch List Completion. EFI will determine the percentage of completion accomplished for each month. The Purchaser may require substantiation, which will be limited to photocopies of material packing slips and photographs of station fabrication unless additional charges are accepted. The Purchaser or their agent may visit the EFI factory at their expense for substantiation.

Applicable taxes will be added in each payment.

Projects in arrears may be subject to work stoppage and will be accessed a late fee of 1.5% per month.

Discounted Prepayment Terms: In lieu of the terms stated above, EFI offers a 2% reduction of net cost for full payment received within 20 calendar days of receipt of order.

Where Monthly Progress Billing is not available, other Billing Schedules will be negotiated.

PLEASE NOTE: Several of EFI'S suppliers / vendors have informed EFI that until further announcement, they reserve the right to amend their delivery date, their price and their scope or amount of supply and/or other terms and conditions set out in their offer or quotation to the magnitude affected by the Covid-19 pandemic. Be advised that EFI-Solutions, Inc. deems the Covid-19 associated changes inflicted by our manufacturers and suppliers as outside of its reasonable control and (may be) subject to Force Majeure provisions.

AGENDA SUPPLEMENT

TO: President Reid and Village Board

FROM: Lori Lyons, Finance Director

FOR: May 5, 2022 Village Board Meeting

RE: Resolutions to approve purchase of a 2022 John Deere 524 P 4WD Loader

Background. The Street Department is requesting authorization to purchase a P-tier mid-sized loader to move and lift materials. Used principally for snow and ice control operations this loader will allow personnel to reduce the salt load time by one half aiding in the efficiency of operations. This equipment is in the budget to be purchased and financed.

Analysis. Staff has evaluated two machines when considering this purchase. While not exactly an apples to apples comparison, both of these machines are available for immediate purchase and similar in form, fit and function. The West Side Tractor John Deere has been demo-ed, was rented when the Village's combination loader was in the shop for repairs, and is quoted at a \$6,000 cost saving over the Komatsu quoted by Roland Machinery Co. The Village intends to retain the combination loader; a smaller piece of equipment for smaller jobs and for jobs requiring backhoe capabilities. The two quotations are attached for review. By approving the proposed resolution the board is waiving the formal bidding requirement for this equipment.

Recommendation. Staff recommends approval of the attached resolution authorizing the purchase of a 2022 John Deere 524 P four wheel drive loader from West Side Tractor, Rockford, IL at a cost of \$163,100.00.

West Side Tractor Sales

3300 Ogden Ave • Lisle, IL 60532
 (630) 355-7150 • Fax (630) 355-7173



PRICE QUOTATION

TO:	COMPANY NAME: HAMPSHIRE, VILLAGE OF	DATE: January 26, 2022	
	ADDRESS: 234 S STATE ST	MODEL NUMBER: 524 P	WSTS STOCK NUMBER: 050121
	CITY, STATE, ZIP: HAMPSHIRE IL 60140	PROPOSED SHIPPING DATE:	TERMS: Payment Upon Delivery
	CONTACT: 8476832181	SALESPERSON: Adam Roth	TO BE SHIPPED VIA:

HERE IS OUR QUOTATION ON THE GOODS NAMED, SUBJECT TO THE CONDITIONS NOTED:

CONDITIONS: The prices and terms on this quotation are not subject to verbal changes or other agreements unless approved in writing by the home office of the seller. All quotations and agreements are contingent upon strikes, accidents, fires, availability of materials and all other causes beyond our control. Prices are based on costs and conditions existing on date of quotation and are subject to change by the seller before final acceptance.

Typographical and stenographical errors subject to correction. Purchaser agrees to accept overage or shortage not in excess of ten percent to be charged for pro-rata. Purchaser assumes liability for patent and copyright infringement when goods are made to purchasers specification. When quotations specifies material to be furnished by the purchaser, ample allowance must be made for reasonable spoilage and material must be suitable quality to facilitate efficient production.

Conditions not specifically stated herein shall be governed by established trade customs. Terms inconsistent with those stated herein which may appear on Purchasers formal order will not be binding on the seller.

QUANTITY	DESCRIPTION	
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QUANTITY	DESCRIPTION	
1	2022 John Deere 524 P 4WD Loader Serial Number 1DW524PAPMLZ12952 With ~100 Approximate Hours Prior Use Equipped With: COUNTERSHAFT-TYPE POWERSHIFT™ JOHN DEERE POWERTECH™ PVS 6.8L TURBO DIESEL ENGINE RATED 161HP JD POWERTECH ENGINE AG MATERIAL HANDLING CONFIG 5 SP POWERSHIFT TRANSMISSION 140 AMP ALTERNATOR CHROME CURVED STACK AIR INTAKE WITH PRECLEANER AUTOMATIC REVERSING HYD FAN FUEL TANK W STD FILTER JDLINK ULT 5 YEAR SERVICE STANDARD CAB 7" MONITOR W REAR DISPLAY HYDRAU HYDRAULIC FLUID STANDARD Z-BAR STEERING WHEEL ONLY DELUXE SEAT, CLOTH JOYSTICK CONTROLS THREE FUNCTION HYDRAULICS RIDE CONTROL 15 AMP CONVERTER AXLE,W/ HYD FRONT & REAR AUTOMATIC DIFFERENTIAL LOCK LEFT SIDE STEPS ONLY HALOGEN WORK & DRIVE LIGHTS REAR HITCH & COUNTERWEIGHT REAR CAMERA ONLY LED STROBE BEACON W/ BRACKET EXTERIOR MIRRORS - STANDARD RADIO - STANDARD AC CHARGE ENGINE BLOCK HEATER ENVIRONMENTAL DRAIN & PORTS AXLE OIL COOLER AND FILTER	ALL IN STOCK UNITS SUBJECT TO PRIOR SALE Quote valid for 30 days CAB FRESH AIR PRECLEANER ENGINE COMPARTMENT LIGHT GUARDS-TRANSMISSION & BOTTOM SMV EMBLEM NBP 20.5R25 1* L3 RADIAL 3PC JD HYD CPL 524L JD 3.00 CY BKT 624L Machine Available for Sale as of 4/1/22

Basic STD warranty expires 10-26-2022 Ext PTH warranty expires 10-25-2024 or 3000hrs whichever occurs first

Sell Price	\$163,100.00
Sales Tax	\$ -
	\$ -
	\$ -
	\$ -
Balance Due	\$ 163,100.00



2022 KOMATSU WA200-8

Standard Equipment for Base Machine

Engine and related items:

- Air cleaner, dry-type, two stage, radial sealed
- Engine shut-off system, electric with key
- Engine, KOMATSU SAA4D107E-3, 4 cylinder turbocharged, air to air after cooled, cooled EGR, direct injection Tier 4 Final interim emissions certified, diesel.
- Gross HP: 128HP (95.2kW) / 2000 RPM
- Net HP: 126HP (94kW) / 2000 RPM (SAEJ1349) ISO / 9249
- Net HP: 122HP (91.1kW) / at max speed of hydraulic cooling fan

Exhaust pipe, curved

Fan, auto-reverse, hydraulic driven

KDOC After-Treatment Assembly

Komatsu Auto Idle Shutdown

SCR - Selective Catalytic Reduction aftertreatment with DEF tank and heated lines

Starting aid, intake air preheater type

Electrical system:

Alternator, 90 ampere, 24 volt

Back-up alarm

Batteries, 2 x 12 volt, (92 Ah), (680 CCA)

Battery disconnect switch

Horn, electric

Lights

- Back-up light, rear
- Sealed DT electrical connectors
- Starting motor, 5.5kW direct electric, 24V
- Stop and tail light
- Turn signal, (2 front, 2 rear) with hazard switch
- Working lights, halogen (2 front, high low beam with indicator, fender mount, 2 rear grill mount)
- Working lights, halogen (2 front) outside of cab mount

Power Train and Controls:

Differentials, torque proportioning, inboard planetary

Parking brake, wet disc type

Service brakes, hydraulic, wet multiple disc type, axle by axle (inboard)

Transmission, hydrostatic, 1 pump, 2 motors, full auto shift with speed range control

Transmission control

- F/R: steering column / loader control lever selectable
- Max speed control: electric, 4 speed F/R
- Traction control: electric, 3 mode

Operator environment:

Cab, (ROPS/FOPS) (installed), includes; adjustable arm rests, cigarette lighter/ashtray,

dome light, electrically heated rear window, air conditioner / heater / defroster / pressurizer, floor mat, front (intermittent) and rear wiper/washer, rearview mirrors (2 outside, 2 inside), right hand and left hand door access with steps and sunvisor

Hydraulic control, 2 spool (boom/bucket), multi-function mono lever control, with integrated transmission F/R switch and includes integrated third spool proportional switch (3 spool is optional)

Monitor, 7 inch, LCD, color

Radio, AM/FM with speakers and auxiliary jack

Rear view monitor

Seat, heated air suspension type, reclining with armrests (fabric)

Equipment Management Monitoring System (EMMS)

Monitor: Multi-unction, 7 inch, LCD, color high-resolution

Warning Message System with Descriptions

Gauges

- Engine water temperature
- Ecology
- Fuel level
- HST oil temperature
- Speedometer / Tachometer

Pilot Lights

- Auxiliary steering (opt)
- Brake oil pressure
- Central warning
- Cooling fan reverse
- DEF Level
- Directional indicator
- ECSS
- Engine pre heater
- Head lamp high beam
- HST Emergency pump drive
- Komtrax message
- Parking brake warning
- Quick coupler lock release (opt)
- Remote Boom Positioner
- Seat belt caution
- Steering oil pressure
- Traction level
- Transmission speed range
- Turn signal
- Work equipment lock warning

Special arrangements:

Ambient Temperature Range, -20°C (-4°F)

through +45°C (+113°F) at maximum standard elevation of 2,300 meters (7,546 ft.)

Other Standard Equipment:

Boom kick-out, automatic

Bucket and lift cylinders

Centralized grease banks

Counterweight, standard and additional

Electronically Controlled Suspension System (ECSS)

Fenders, front & partial rear

Hand rails, front, LH & RH

KOMTRAX, Level 5

Lifting eyes

Parallel loader linkage and standard lift boom

Provision for Quick Coupler (mount points for piping, harness for cab switch)

Rims for 20.5-25 tires (4 each)

Vandalism Protection:

- Caplock & cover for fuel tank & hydraulic tank
- Padlocks
- Battery boxes
- Engine hood side panels & rear grill, lockable
- Radiator cap cover (bolted)
- Transfer case oil filler cover

Voltage converter (12 volt, 5 amp x 2)



Configuration

WA200-8 KOMATSU WHEEL LOADER
(X4) TIRE ONLY 20.5R25 XHA L3 MICHELIN
BOOM - STANDARD
2-SPOOL VALVE W/MONO LEVR
KOMATSU HYDRAULIC QUICK COUPLER
KOMATSU HYDRAULICS FOR QUICK COUPLER
JRB GENERAL PURPOSE BUCKET 2.75 CU.YD

Machine Year: 2022
Serial #: TBD
Hours: 0

Warranty

EXTENDED POWERTRAIN WARRANTY 36 MTHS / 5000 HOURS

Total Selling Price

Sell Price	\$169,137.00
Sales Tax	\$ 0.00
Sub Total	\$169,137.00
Less Rentals Paid	\$ 0.00
Trade In	\$ 0.00
Doc Fee	\$ 0.00
Other Charges	\$ 0.00
Total Amount Due	\$169,137.00

RESOLUTION 22-XX

**A RESOLUTION AUTHORIZING THE PURCHASE
OF A
2022 JOHN DEERE 425 P FOUR WHEEL DRIVE LOADER**

WHEREAS, the Village of Hampshire, Kane County, Illinois (the “Village”) is a duly organized and validly existing non-home rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, the Street Department is in need of a new to load and move materials; and,

WHEREAS, the Street Department has requested purchase consideration of this equipment since 2018; and

WHEREAS, funds to purchase and finance this loader were approved in the FY2023 budget.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustee of the Village of Hampshire, Kane County, Illinois as follows:

Section 1: That the purchase of a 2022 John Deere 524 P four wheel drive loader equipped per Exhibit A attached hereto for from West Side Tractor Sales, Rockford, IL in an amount not to exceed \$163,100.00, is hereby approved.

Section 2. The Village Manager is hereby authorized to execute the documents as required.

Section 3: That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

ADOPTED THIS 5th DAY OF MAY, 2022.

AYE: _____

NAY: _____

ABSENT: _____

ABSTAIN: _____

APPROVED THIS 5th DAY OF MAY, 2022.

Michael J. Reid, Village President

ATTEST:

Linda Vasquez, Village Clerk

AGENDA SUPPLEMENT

TO: President Reid and Village Board

FROM: Lori Lyons, Finance Director

FOR: May 5, 2022 Village Board Meeting

RE: Request for Authorization to Purchase a 2021 Ram 5500 with equipment

Background. The Village has the opportunity to purchase a 2022 Dodge Ram 5500 with equipment as provided for in the FY23. This truck will replace the 2010 Dodge Ram pickup utilized by the Street Department that was unexpectedly retired last summer due to a frame crack.

Analysis. This demo vehicle was identified some time ago and was included for purchase and financing in the 2023 Street Department budget. Staff is requesting authorization to purchase the truck from Henderson Products, Huntley, IL. The attached quote reflects a dump body, under tailgate salt spreader and a 10 ½ foot V-plow and a 1 year warranty. Other costs will include license and title as well as door decals.

Recommendation. Staff requests approval of the attached resolution authorizing the purchase of the 2021 Dodge Ram 5500 with equipment from Henderson Products in the amount of \$100,153.00.

Hampshire

RESOLUTION 22-XX

**A RESOLUTION AUTHORIZING THE PURCHASE
OF A
2021 DODGE RAM 5500 AND EQUIPMENT**

WHEREAS, the Village of Hampshire, Kane County, Illinois (the “Village”) is a duly organized and validly existing non-home rule municipality created in accordance with the Constitution of the State of Illinois of 1970 and the laws of the State; and,

WHEREAS, the Street Department 2010 Ford Truck was determined to have reached the end of its useful life; and,

WHEREAS, the Street Department requested an additional vehicle in FY22; and

WHEREAS, funds to purchase and finance this vehicle were approved in the FY2023 budget.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hampshire, Kane County, Illinois as follows:

Section 1: That the purchase of a 2021 Dodge Ram 5500 with certain specifications from Henderson Products, Huntley, Illinois attached hereto as Exhibit A in an amount not to exceed \$100,153.00, is hereby approved.

Section 2. The Village Manager is hereby authorized to execute the quote and related documents as required.

Section 3: That this Resolution shall be in full force and effect from and after its passage and approval as provided by law.

ADOPTED THIS 5th DAY OF MAY, 2022.

AYE: _____

NAY: _____

ABSENT: _____

ABSTAIN: _____

APPROVED THIS 5th DAY OF MAY, 2022.

Michael J. Reid, Village President

ATTEST:

Linda Vasquez, Village Clerk



HENDERSON

PRODUCTS, INC.

11921 SMITH DRIVE
HUNTLEY, IL 60142
PHONE: 847-836-4996
FAX: 563-927-7108

CUSTOMER QUOTE

Page 1
Quote #155237
Rev #26

To: HENDERSON PRODUCTS, INC. - IL
Attn:
Quote Date: 12/6/2021
Valid Until: 1/5/2022

Quoted By: Dan Montiel
Phone: 847-836-4996
Cell:
Fax: 563-927-7108
Email: dmontiel@hendersonproducts.com

Quoted:
QUOTE FOR HENDERSON MDM DEMO TRUCK

Henderson Products is pleased to present the following quote. Please contact us if you have any questions.

MDM

Build Facility: **IDC-IL**
Chassis delivery to Henderson: **Henderson Picks Up (0-100 miles)**
Completed Truck Delivery Method: **Henderson Delivers (0-100 miles)**
Chassis Model Year: **2021**
Chassis Make/Model: **Dodge/Ram 5500**
Transmission type: **4X4**
Usable CA: **84 inch (+/- 1")**
Fuel type: **DIESEL, 1 tank**
Headlamp style: **All**
Cab style: **Regular Cab**
Dump body length: **11' body length**
Dump body side height: **16 inch side height**
Dump body sides/headsheet/tailgate material: **201 grade stainless steel**
Dump body floor material: **3/16" AR400 floor**
Dump body side style: **Fold down sides**
Dump body tailgate style: **Standard Tailgate**
Dump body hoist: **Scissor Hoist**
Dump body hoist option: **Pilot operated check block**
Dump body hydraulic system: **12V Electric over hydraulic pump pack**
Dump body rear bolster light holes: **1 obround each bolster**
Dump body rear bolster light options: **LED Stop/Tail/Turn/Back-up light**
Dump body sideboard extensions: **Not Required for build**
Dump body sideboards: **Not Required for build**
Dump body side ladder: **Not Required for build**
Dump body asphalt Lip: **Not Required for build**
Dump body cabshield overhang: **Quarter with window**
Cabshield leg height: **Standard height (14.4")**
Cabshield light configuration: **Obrounds 2 fwd, 2 rwd, 1 ea side**
Cabshield Light options: **Qty 2, 6" LED S/T/T, Qty 4 LED Amber Strobes**
Cabshield window options: **Stainless window cover, Shipped loose**
Dump body/cabshield finish: **Natural stainless, mild parts painted black**
Spreader Style: **Henderson Stainless Steel TGS (undertailgate)**
Spreader Drive: **Henderson electric spreader control**
Spreader Control Mount: **Cup holder mount**
Spinner worklight: **LED, Spinner light**





HENDERSON

PRODUCTS, INC.

11921 SMITH DRIVE
HUNTLEY, IL 60142
PHONE: 847-836-4996
FAX: 563-927-7108

CUSTOMER QUOTE

Page 2
Quote #155237
Rev #26

Plow style: **10.5 ft Trip Edge, V-Plow, Stainless steel**
Plow cutting edge: **5/8" steel cutting edge**
Plow Rubber deflector: **Rubber 10" snow deflector, Installed**
Plow lights: **LED**
Plow curb guards: **Curb guard, integral with blade assy**
Plow blade stops: **Blade stop, integral with big box**
Plow adjustable shoe kit: **Adjustable shoe kit, Installed**
Equipment controls: **Dump, plow and spreader controller**
Pintle Plate: **5/8" pintle plate, 5/8" d-rings, PH20 Holes**
Pintle Options: **Combo 10T Hitch w/2-5/16" ball**
Trailer Plug: **7 Pin Trailer Plug, truck end 7-way RV**
Rear mudflaps: **Henderson Logo Mudflaps**
Tarp System: **Manual vinyl asphalt tarp system, installed**
Toolbox: **Side mount toolbox, SS**
Toolbox Location: **Passengers side front**
Power Distribution Panel: **Power Distribution Panel**
Back up Alarm: **Backup Alarm, 97 db**
Body up switch/light: **Body up indicator integral with dual controller**
Brake Controller: **Brake Controller, Voyager Brake Controller**
Reflective tape: **Reflective tape, Henderson Logo**
Truck Wash: **Complete Truck Wash/Clean/Vac 1**
Warranty: **Standard 1 Year Warranty**
Training: **Not Required for build**

Specialty Equipment

Quotation Type: **Henderson Supplied Chassis**
Chassis Make: **2022 RAM 5500**
Chassis Quote #: **34246**

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:





HENDERSON

PRODUCTS, INC.

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HUNTLEY, IL 60142
PHONE: 847-836-4996
FAX: 563-927-7108

CUSTOMER QUOTE

Page 3

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64

Chassis Details:

STOCK# NG132773
VIN#: 3C7WRNBL8NG132773
PW7 WHITE
DP0L64





HENDERSON

PRODUCTS, INC.

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PHONE: 847-836-4996
FAX: 563-927-7108

CUSTOMER QUOTE

Page 4
Quote #155237
Rev #26

Single Package: \$100,153.00
Package(s) : 1
Total: \$100,153.00

Due to current raw material market conditions this quote includes a surcharge on Henderson equipment. Quotes exceeding the expressed quote validity date are subject to surcharge revisions.

Signed: _____ Date: _____

Quote notes:





Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: President Reid; Board of Trustees
FROM: Josh Wray, Assistant to the Village Manager
FOR: Village Board Meeting on May 5, 2022
RE: Reimbursement for Sidewalk Project

Background: Staff received a request for reimbursement for a sidewalk repair project at 239 Schmidt Dr. The Village's sidewalk reimbursement program will pay up to 1/3 of the project cost at the discretion of the Village Board.

Analysis: The project will involve replacing seven tiles of sidewalk in front of the residence. The applicant shared that she would prefer to contract with the low-bidder, K&M Concrete. She confirmed with K&M that they will honor the attached bid from November 2021.

If approved, reimbursement will be made after final inspection of the completed work.

Recommendation: Staff recommends approval of the reimbursement request in the amount of 1/3 of the lowest bid, or \$1,291.67.

Simple Plan for Sidewalk Rehabilitation Project 239 Schmidt Drive, Hampshire

The course of sidewalk tiles in the front of the property is no longer level. As a temporary solution in October 2021, the Hampshire Public Works Department staff provided some marking and grinding to minimize the hazard.

A minimum of seven tiles need to be removed and replaced, following best practices. A professional concrete contractor will need to complete the process, including removal/disposal of existing concrete, preparation/installation of stone base at the appropriate thickness and compaction, concrete replacement with proper reinforcement and finishing, and other tasks per the Village's requirements.



If you need additional information, please contact us.

Respectfully submitted,

Bob and Sarah Holcombe

PROPOSAL



K & M Concrete, Inc.
311 N. 2nd St. Ste. 201-C
St. Charles, IL 60174
630.377.8800

Check out our new web site
<http://www.k-mconcrete.com>

Proposal Date: 11/17/21

Proposal Submitted to:

Work to be Performed at:

Name: Sarah Holcombe
 Street: 239 Schmidt Dr.
 City: Hampshire State: IL
 Phone: 708-502-3341
 Email: rsholcombe@sbcglobal.net

Name: SAME
 Street: _____
 City: _____ State: IL

We hereby propose to furnish the materials and perform the labor necessary for the completion of:

Sidewalk:

- Remove and haul away existing concrete
- Concrete to be a 6.5 bag mix concrete @ 4500 PSI with water reducer
- Concrete to be 5 inches thick
- Poured on 5 inches compacted stone base
- If the base is not sufficient there will be an extra charge to dig out bad base and add stone
- #4 Rebar reinforcement running throughout walk
- Control joints to be tooled in
- Expansion joints to be placed as needed
- Broom finish
- One coat of sealer to be applied

Seven squares of public walk - \$3,875.00

Small Track Machine Use with Minimal Damage

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of **see above**

25% of contract price due upon contract signing with balance due upon completion of work.

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance upon above work.

Respectfully submitted: *Kendal Williams*
(Authorized signature for K&M Concrete, Inc.)

NOTE: This proposal may be withdrawn by us if not accepted within 60 days.

Property Owners are required to check with their city or County and apply for the appropriate permits.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as specified above.

Signature: _____ Date: _____

TRINITY RIVER CONSTRUCTION, LLC
P.O. Box 678
Marengo, IL 60152
Ph# (815) 923 - 7301 / Fax# (815) 923 – 7302

Submitted to: Bob & Sarah Holcombe	Date: 4/20/22
Address: 239 Schmidt Drive Hampshire, IL 60140	Job Name: Public Walk Removal & Replacement
Ph#: (708) 502-3341 E-mail:	Job Location: 239 Schmidt Drive Hampshire, IL 60140
Architect: N/A	Date of plans: N/A

We hereby submit specifications and estimates for:

Public walk R&R:

Remove approx. 45 LF x 5'0" wide existing public walk
All concrete to be removed from site
Based on direct access with a breaker & skid loader to remove all concrete
Repour 225 SF of 6" thick public walk over existing gravel base
Based on 4000 PSI regular concrete w/ broom finish and CS-309 sealer
Based on direct access with a concrete truck to pour direct
Based on doing this work with some other work we have in the area
Not responsible for repairs to existing landscape, curb, street, or driveway
Not responsible for damage to any underground utilities or sprinkler systems
No landscape restoration included
All permits to be provided by general contractor or owner

****NOTE: At this point due to the current backlog on our schedule we cannot guarantee if or when this work would be able to be completed.**

WE PROPOSE hereby to furnish material and labor - complete in accordance with above specification, for the sum of:
FOUR THOUSAND SEVEN HUNDRED SIXTY DOLLARS AND NO/100-----\$4,760.00

(Payment – 30 Days)

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workers' Compensation Insurance.

Authorized Signature: _____
Jeff Frohling

Note: This proposal may be withdrawn by us if not accepted within 30 days.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.



Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: President Reid; Board of Trustees
FROM: Jay Hedges, Village Manager
FOR: Village Board Meeting on May 12, 2022
RE: Hampshire Social Façade Grant

Background: On May 5th the Village Board voted to approve the following motion. Trustee Robinson moved to award a façade improvement grant for the Hampshire Social Project at 124 S. State Street, for up to 75% of the original request, or \$55,563.

Analysis: While Mr. Roberts' original grant application was for \$74,084, 75% of which is \$55,563, the draft minutes of the May 5th Village Board Meeting suggest that the Village Board may have intended to approve the BDC recommendation plus the patio and fence added back in. That number would have been a total grant of \$76,541.50; 75% of which would be \$57,406.13. The difference is \$1,843.13

Action Requested:

1. A Motion to Modify the Façade Improvement Grant Award for the Hampshire Social Project at 124 S State Street, Increasing the Amount from \$55,563 to \$57,406.13, **or**,
2. A motion to table this Agenda item would leave the grant award at the approved amount of \$55,563.



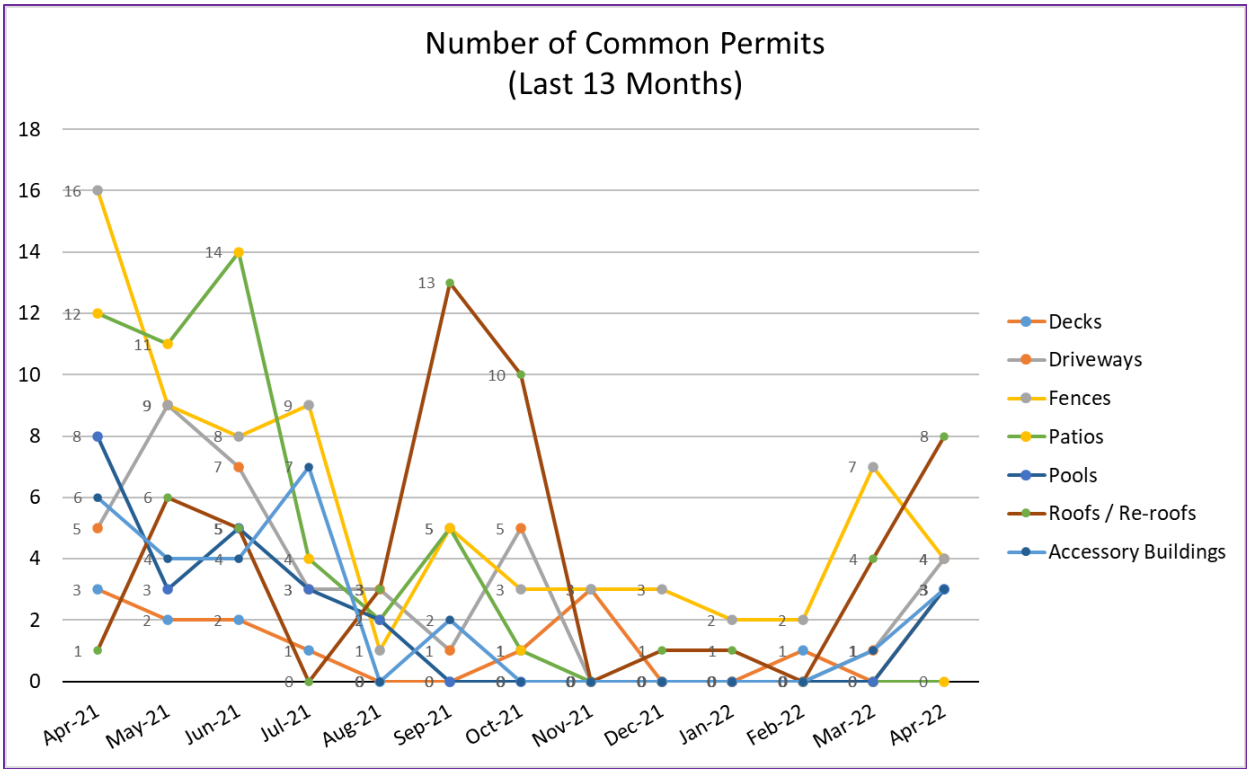
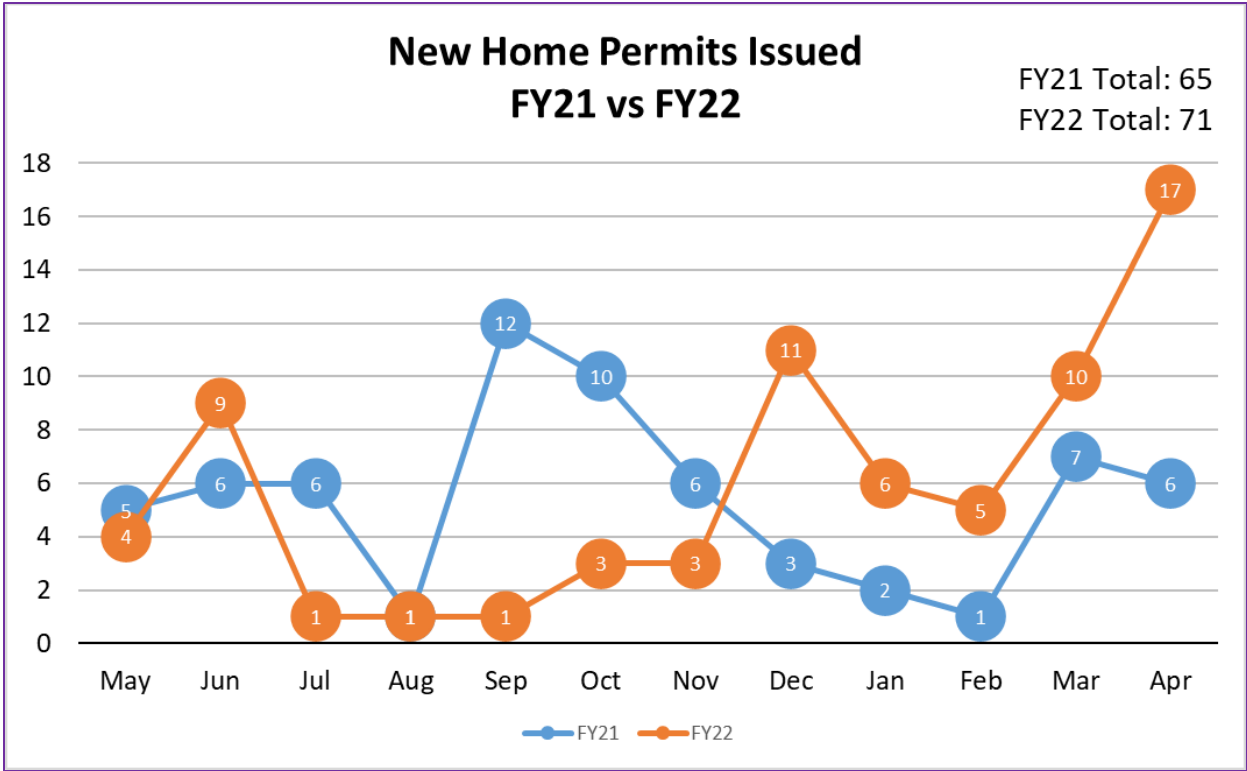
Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO: President Reid; Board of Trustees
FROM: Josh Wray, Assistant to the Village Manager
FOR: Village Board Meeting on May 5, 2022
RE: Building Report - April 2022

Building Performance Metrics	<u>April</u>	<u>FY22 Monthly Avg.</u>
• Number of permits issued	69	39.4
• Number of new home permits issued	17	5.9
• Average plan review time	2.8 days	2.2 days
• Number of inspections	281	185.9
• Permit fees collected	\$67,392	\$17,753
• Other Village fees collected	\$69,119	\$23,126

Code Enforcement Performance Metrics	<u>April</u>	<u>FY22 Monthly Avg.</u>
• Number of complaints	3	1.7
• Number of new cases	3	1.4
• Number of active cases	10	5.1



Village of Hampshire Street Department

Monthly Report: April 2022

We had a rep from Stihl Chainsaw Company come out for a chainsaw safety and operation course. The Village of Gilberts to join us.

Completed **First Aid CPR AED Program**

Installed Detour posts and signs for Street Scape

Parking lot on Rinn Prepped for asphalt

Creek maintenance and flared end cleaning

Removed Snow equipment off of the trucks, cleaned and prepped to sit outside.

Mowed detention pond at the end of Town Place rd.

SSA and Street department mowing

Mowing has begun!

Snow Fall

4/1/2022 Snow 1"

4/2/2022 Snow 2"

4/8/2022 Snow 0.5"

4/18/2022 Snow 2"

Rainfall Amounts

3.61"

Utility Locates

226 Normal

8 Emergency

Tree Trimming

Tree removal by flared ends

Work Performed

Vehicle and Equipment Maintenance

Pothole Patching

Street Light Repair

Storm Sewer Maintenance

Sidewalk Grinding

Other Miscellaneous Projects

VILLAGE OF HAMPSHIRE

Accounts Payable

May 5, 2022

The President and Board of Trustees of the Village of Hampshire
Recommends the following **Employee/Trustee:** Josh Wray and Mark Montgomery
Warrant in the amount of

Total: \$504.48

To be paid on or before
May 11, 2022

Village President: _____

Attest: _____

Village Clerk: _____

Date: _____

VILLAGE OF HAMPSHIRE

Accounts Payable

May 5, 2022

The President and Board of Trustees of the Village of Hampshire
Recommends the following Warrant in the amount of

Total: \$524,164.56

To be paid on or before
May 11, 2022

Village President: _____

Attest: _____

Village Clerk: _____

Date: _____

DATE: 05/03/22
 TIME: 13:44:27
 ID: AP441000.WOW

VILLAGE OF HAMPSHIRE
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 08/31/2022

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT

ALCO	ALLEN'S CORNER GARAGE & TOWING							
11416	04/18/22	01	TOWING	300010024110			05/18/22	100.00
							INVOICE TOTAL:	100.00
							VENDOR TOTAL:	100.00
AMBU	AMAZON CAPITAL SERVICES							
113-1766113-0011443	04/19/22	01	FLAGS	010030024100			05/19/22	89.75
							INVOICE TOTAL:	89.75
113-2993833-6725815	04/20/22	01	LED STROBES	010030024110			05/20/22	62.99
							INVOICE TOTAL:	62.99
113-5446070-6039409	04/22/22	01	HARD HATS	010030034670			05/22/22	150.78
							INVOICE TOTAL:	150.78
							VENDOR TOTAL:	303.52
AT&T	AT&T							
041822	04/18/22	01	289265609	310010024230			05/16/22	502.56
							INVOICE TOTAL:	502.56
042122 - 291249633	04/21/22	01	291249633	010030024230			05/21/22	73.29
							INVOICE TOTAL:	73.29
							VENDOR TOTAL:	575.85
BFC	BFC							
554687	04/19/22	01	WINDOW ENVELOPES	010010034650			05/19/22	154.00
							INVOICE TOTAL:	154.00
554688	04/19/22	01	ENVELOPES	010010034650			05/19/22	171.34
							INVOICE TOTAL:	171.34
							VENDOR TOTAL:	325.34
BNYM	BNY MELLON							

DATE: 05/03/22
 TIME: 13:44:27
 ID: AP441000.WOW

VILLAGE OF HAMPSHIRE
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 08/31/2022

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT
BNYM BNY MELLON								
041922 - HAMPSH12	04/19/22	01	HAMPSHIRE GO REF (ARS) 12	010030044790			06/15/22	664.47
		02	HAMPSHIRE GO REF (ARS) 12	300010044703				2,094.53
		03	HAMPSHIRE GO REF (ARS) 12	310010044794				852.25
							INVOICE TOTAL:	3,611.25
041922 - HAMPSH16	04/19/22	01	VIL OF HAMPSHIRE GO ARS 16	010030044790			06/15/22	2,842.00
		02	VIL OF HAMPSHIRE GO ARS 16	050010044690				17,458.00
							INVOICE TOTAL:	20,300.00
							VENDOR TOTAL:	23,911.25
CHEX CHRISTENSEN EXCAVATING								
7827	04/20/22	01	GRAVEL	010030024130			05/20/22	285.00
							INVOICE TOTAL:	285.00
							VENDOR TOTAL:	285.00
CILI CITY LIMITS SYSTEMS INC								
11841	04/26/22	01	TRUCK WASH	010030024110			05/06/22	703.95
							INVOICE TOTAL:	703.95
							VENDOR TOTAL:	703.95
COMA CORE & MAIN LP								
P833068	12/29/21	01	4 IN METER	300010054960			01/29/22	3,248.00
							INVOICE TOTAL:	3,248.00
Q696919	04/19/22	01	MXU	300010054960			05/19/22	3,510.00
							INVOICE TOTAL:	3,510.00
							VENDOR TOTAL:	6,758.00
COMI COMPASS MINERALS AMERICA INC.								
863305	10/04/21	01	STREET SALT	150030034600			11/04/21	6,919.42
							INVOICE TOTAL:	6,919.42
							VENDOR TOTAL:	6,919.42

DATE: 05/03/22
 TIME: 13:44:27
 ID: AP441000.WOW

VILLAGE OF HAMPSHIRE
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 08/31/2022

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT
CREL CRESCENT ELECTRIC SUPPLY CO								
S510195669.001	04/06/22	01	PHOTO CELL	010030024270			05/31/22	133.04
							INVOICE TOTAL:	133.04
							VENDOR TOTAL:	133.04
CUCR CULLIGAN OF CRYSTAL LAKE								
043022	04/30/22	01	150204	010020024280			05/26/22	70.21
		02	143277	010010024280				29.50
		03	719718	300010024280				28.87
		04	719718	310010024280				28.88
		05	291575	010030024280				63.42
							INVOICE TOTAL:	220.88
							VENDOR TOTAL:	220.88
FEDEX FEDEX								
7-737-60996	04/27/22	01	BRIAN HAYDYSCH	010020024320			05/27/22	31.78
							INVOICE TOTAL:	31.78
							VENDOR TOTAL:	31.78
FEST JEFF AND HEATHER FEST								
050222	05/02/22	01	50/50 TREE REIMBURSEMENT	010030024210			06/02/22	300.00
							INVOICE TOTAL:	300.00
							VENDOR TOTAL:	300.00
FIIX ROCKWELL AUTOMATION, INC.								
INV54140	04/19/22	01	MAINTENANCE PROGRAM DUES	300010024380			04/20/22	2,200.20
							INVOICE TOTAL:	2,200.20
							VENDOR TOTAL:	2,200.20
FISA FOX VALLEY FIRE & SAFETY								
IN00512302	04/07/22	01	QUARTERLY FIRE ALARM LEASE	300010024280			05/07/22	150.00
							INVOICE TOTAL:	150.00

DATE: 05/03/22
 TIME: 13:44:27
 ID: AP441000.WOW

VILLAGE OF HAMPSHIRE
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 08/31/2022

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT

FISA	FOX VALLEY FIRE & SAFETY							
IN00513054	04/07/22	01	QUARTERLY FIRE ALARM LEASE	300010024280			05/07/22	150.00
							INVOICE TOTAL:	150.00
							VENDOR TOTAL:	300.00
FLTE	FLOW-TECHNICS, INC							
INV00009444	04/19/22	01	ELGILOY LS FLOAT FAILURE	310010024160			05/19/22	845.00
							INVOICE TOTAL:	845.00
							VENDOR TOTAL:	845.00
GEBR	GEHRINGER BROS							
1203	04/13/22	01	SEAT MOUNT	010030024120			05/13/22	38.00
							INVOICE TOTAL:	38.00
1213	04/22/22	01	STEEL FOR HOSE	010030024110			05/22/22	18.00
							INVOICE TOTAL:	18.00
1214	04/25/22	01	SEAT MOUNT	010030024120			05/25/22	30.00
							INVOICE TOTAL:	30.00
							VENDOR TOTAL:	86.00
HAAUPA	HAMPSHIRE AUTO PARTS							
620555	04/19/22	01	FUEL FILTER LOADER	010030024120			05/19/22	115.89
							INVOICE TOTAL:	115.89
620561	04/19/22	01	FILTERS	010030024110			05/19/22	62.87
							INVOICE TOTAL:	62.87
620566	04/19/22	01	MOTOR TUNE	010030024110			05/19/22	33.96
							INVOICE TOTAL:	33.96
620604	04/19/22	01	WAX	010020024110			05/19/22	31.97
							INVOICE TOTAL:	31.97

INVOICES DUE ON/BEFORE 08/31/2022

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT

HAAUPA	HAMPSHIRE AUTO PARTS							
620634	04/19/22	01	O RINGS	010030034670			05/19/22	0.88
							INVOICE TOTAL:	0.88
620990	04/22/22	01	PLASTIC BOND	010030034670			05/22/22	9.49
							INVOICE TOTAL:	9.49
621139	04/25/22	01	WASHER FLUID	010030034670			05/25/22	18.90
							INVOICE TOTAL:	18.90
621227	04/26/22	01	SLOW MOVING SIGN	520010024999			05/26/22	28.58
							INVOICE TOTAL:	28.58
621273	04/26/22	01	2021 FREIGHLINER OIL SEAL	010030024110			05/26/22	36.95
							INVOICE TOTAL:	36.95
621290	04/26/22	01	HEATER HOSE	010030024110			05/26/22	5.99
							INVOICE TOTAL:	5.99
621549	04/29/22	01	POWER SERVICE	010030024110			05/29/22	11.99
							INVOICE TOTAL:	11.99
621607	04/29/22	01	OIL AND FILTER FOR LOADER	010030024120			05/29/22	68.96
							INVOICE TOTAL:	68.96
							VENDOR TOTAL:	426.43
HAFD	HAMPSHIRE FIRE PROTECTION							
CPR20220419	04/19/22	01	STREET EMPLOYEES	010030024310			04/19/22	54.00
		02	UTILITY EMPLOYEES	300010024310				27.00
		03	UTILITY EMPLOYEES	310010024310				27.00
							INVOICE TOTAL:	108.00
							VENDOR TOTAL:	108.00
HAIN	HAWKINS, INC.							

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HAIN	HAWKINS, INC.							
6170903	04/26/22	01	WWTP CHEMICAL	310010034680			05/26/22	5,960.33
							INVOICE TOTAL:	5,960.33
							VENDOR TOTAL:	5,960.33
IEPAFISC IEPA								
031522	03/15/22	01	INTEREST	310010044792			05/15/22	6,705.23
		02	PRINCIPAL	310010044793				122,844.71
							INVOICE TOTAL:	129,549.94
							VENDOR TOTAL:	129,549.94
JAM	JAMES MOTORS							
ER042222	04/22/22	01	SQUAD 83 2022 DODGE DURANGO	010020054930			04/22/22	39,022.24
		02	SQUAD 86 2022 DODGE DURANGO	010020054930				39,022.24
		03	SQUAD 89 2022 DODGE DURANGO	010020054930				39,022.24
		04	UTILITIES 2022 DODGE RAM 3500	310010054940				48,422.24
							INVOICE TOTAL:	165,488.96
							VENDOR TOTAL:	165,488.96
JOWR	JOSH WRAY							
041922	04/19/22	01	DELIVER PLAT/ANNUAL BUDGET	010010024290			04/19/22	26.91
							INVOICE TOTAL:	26.91
050122	05/01/22	01	REIMBURSE - REGISTRATION ILCMA	010010024290			06/01/22	240.00
							INVOICE TOTAL:	240.00
							VENDOR TOTAL:	266.91
KACTY	KANE CNTY CIRCUIT COURT CLERK							
050222	05/02/22	01	BOND REMITTANCE	010000001000			06/02/22	5,000.00
							INVOICE TOTAL:	5,000.00
ER042922	04/29/22	01	BOND REMITTANCE	010000001000			04/29/22	100.00
							INVOICE TOTAL:	100.00
							VENDOR TOTAL:	5,100.00

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KCCC	JEFFREY R KEEGAN							
050222	05/02/22	01	VH JANITORIAL SERVICE	010010024380			06/02/22	120.00
		02	PD JANITORIAL SERVICE	010020024380				200.00
						INVOICE TOTAL:		320.00
050222S	05/02/22	01	VH JANITORIAL SERVICE	010010024380			06/02/22	40.00
		02	PD JANITORIAL SERVICE	010020024380				40.00
						INVOICE TOTAL:		80.00
						VENDOR TOTAL:		400.00
KONICA	KONICA MINOLTA PREMIER FINANCE							
5019800690	04/15/22	01	PD COPIER	010020024280			06/02/22	176.48
						INVOICE TOTAL:		176.48
5019946727	04/27/22	01	VH COPIER	010010024340			05/23/22	109.62
						INVOICE TOTAL:		109.62
						VENDOR TOTAL:		286.10
KOSA	KOMLILNE-SANDERSON							
42052986	04/08/22	01	INSTALL THICKENER BELT	310010024120			05/08/22	3,225.77
						INVOICE TOTAL:		3,225.77
						VENDOR TOTAL:		3,225.77
LHE	LIONHEART CRTAL PWR SPECIALIST							
38903	04/27/22	01	LABOR	310010024120			05/27/22	2,151.22
						INVOICE TOTAL:		2,151.22
						VENDOR TOTAL:		2,151.22
MAMO	MARK MONTGOMERY							
043022	04/30/22	01	BOOTS/GRAVEL	310010034690			05/30/22	237.57
						INVOICE TOTAL:		237.57
						VENDOR TOTAL:		237.57

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MENA	MENARDS - SYCAMORE							
66091	04/22/22	01	SUPPLIES	010030034680			05/22/22	258.90
							INVOICE TOTAL:	258.90
66241	04/25/22	01	LIGHTING SUPPLIES FOR HARMONY	310010034670			05/25/22	426.43
							INVOICE TOTAL:	426.43
							VENDOR TOTAL:	685.33
MIAM	MIDAMERICAN ENERGY SERVICES							
041122	04/11/22	01	455525	300010024260			06/10/22	9,968.26
		02	455526	300010024260				584.61
		03	455570	300010024260				1,223.54
		04	455571	310010024260				10,452.93
							INVOICE TOTAL:	22,229.34
							VENDOR TOTAL:	22,229.34
MISA	MIDWEST SALT							
0221653	04/27/22	01	WATER TREATMENT SALT	300010034680			05/27/22	3,144.20
							INVOICE TOTAL:	3,144.20
							VENDOR TOTAL:	3,144.20
NICOR	NICOR							
042022	04/20/22	01	96-71-05-6761 9	310010024260			06/07/22	52.73
							INVOICE TOTAL:	52.73
							VENDOR TOTAL:	52.73
OFDE	OFFICE DEPOT, INC.							
240307056001	04/19/22	01	PAPER/COFFEE/TOWELS	010020034650			05/21/22	97.41
							INVOICE TOTAL:	97.41
							VENDOR TOTAL:	97.41
PAAN	PACE ANALYTICAL SERVICES							

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PAAN	PACE ANALYTICAL SERVICES							
I9509409	04/29/22	01	DWTP TESTING	300010024380			05/29/22	552.50
							INVOICE TOTAL:	552.50
							VENDOR TOTAL:	552.50
PIBO	RESERVE ACCOUNT							
050122	05/01/22	01	46128179	010020024320			06/01/22	100.00
							INVOICE TOTAL:	100.00
							VENDOR TOTAL:	100.00
QUCO	QUILL CORPORATION							
1609801	12/28/21	01	CREDIT	300010034650			12/28/21	-24.99
							INVOICE TOTAL:	-24.99
23844716	03/17/22	01	WHITE BOARD	300010034650			04/17/22	145.00
		02	WHITE BOARD	310010034650				144.99
							INVOICE TOTAL:	289.99
24253877	04/05/22	01	ARMORBOX BLACK	300010034650			05/05/22	9.79
		02	ARMORBOX BLACK	310010034650				9.80
							INVOICE TOTAL:	19.59
24272840	04/05/22	01	TOWELS	300010034650			05/05/22	19.50
		02	TOWELS	310010034650				19.49
							INVOICE TOTAL:	38.99
24287711	04/06/22	01	OTTERBOX COMMUTER	300010034650			05/06/22	16.99
		02	OTTERBOX COMMUTER	310010034650				17.00
							INVOICE TOTAL:	33.99
							VENDOR TOTAL:	357.57
RAOH	RAY O'HERRON CO., INC.							
2189216	04/20/22	01	UNIFORM	010020034690			05/20/22	343.40
							INVOICE TOTAL:	343.40
							VENDOR TOTAL:	343.40

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT

RKQUSE	RK QUALITY SERVICES							
20590	04/20/22	01	REMOVE DIESEL FUEL	310010024110			05/20/22	509.55
							INVOICE TOTAL:	509.55
20606	04/20/22	01	CHANGE OIL AND FILTER	010020024110			05/20/22	59.63
							INVOICE TOTAL:	59.63
20659	04/27/22	01	CHANGE OIL AND FILTER	010020024110			05/27/22	75.89
							INVOICE TOTAL:	75.89
20692	04/29/22	01	CHANGE OIL AND FILTER	010020024110			05/29/22	46.50
							INVOICE TOTAL:	46.50
							VENDOR TOTAL:	691.57
RODB	ROGER BURNIDGE							
050122	05/01/22	01	PD LEASE	010020024280			06/01/22	4,906.27
							INVOICE TOTAL:	4,906.27
							VENDOR TOTAL:	4,906.27
RVTP	RIVER VALLEY TURF PARTNERSHIP							
050122	05/01/22	01	FACADE PROGRAM REIMBURSEMENT	010010024383			06/01/22	31,087.50
							INVOICE TOTAL:	31,087.50
							VENDOR TOTAL:	31,087.50
SCHM	FREDI BETH SCHMUTTE							
020222	02/02/22	01	CDBG/RLF STREETSCAPE	010010024380			04/29/22	525.00
							INVOICE TOTAL:	525.00
							VENDOR TOTAL:	525.00
STAPLES	STAPLES							
8065964513	04/19/22	01	TONER CART	010010034650			05/19/22	415.74
							INVOICE TOTAL:	415.74
							VENDOR TOTAL:	415.74

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	PROJECT	DUE DATE	ITEM AMT

TBONY	THE BANK OF NEW YORK MELLON							
252-2463564	04/20/22	01	HAMPSH16	010010024380			06/15/22	105.00
		02	HAMPSH16	050010024380				645.00
								INVOICE TOTAL: 750.00
								VENDOR TOTAL: 750.00
THPOSHPR	THE POLICE AND SHERIFFS PRESS							
161386	04/18/22	01	TM ID CARDS	300010034670			05/18/22	17.58
								INVOICE TOTAL: 17.58
								VENDOR TOTAL: 17.58
TRCOPR	TRAFFIC CONTROL & PROTECTION							
111430	04/28/22	01	SIGNS	010030034680			05/28/22	756.90
								INVOICE TOTAL: 756.90
111458	04/29/22	01	STREET SCAPE SIGNS	010030034680			05/29/22	434.50
								INVOICE TOTAL: 434.50
								VENDOR TOTAL: 1,191.40
USBL	USA BLUEBOOK							
955212	04/22/22	01	SUPPLIES	300010034670			05/22/22	576.06
								INVOICE TOTAL: 576.06
								VENDOR TOTAL: 576.06
VAIN	VAFCON INC							
I220218	04/30/22	01	SCADA ROUTER UPGRADE	310010024160			05/30/22	8,000.00
		02	SCADA ROUTER UPGRADE	300010024160				10,000.00
		03	SCADA ROUTER UPGRADE	310010024120				2,000.00
		04	SCADA ROUTER UPGRADE	300010024120				4,000.00
								INVOICE TOTAL: 24,000.00
I220220	04/30/22	01	LAKEWOOD LS SPD IMPROVE	310010024160			05/30/22	16,500.00
								INVOICE TOTAL: 16,500.00

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VAIN	VAFCON INC							
I220222B.1	04/30/22	01	SCADA UPGRADE	310010024120			05/30/22	25,000.00
		02	SCADA UPGRADE	300010024120				25,000.00
								INVOICE TOTAL: 50,000.00
								VENDOR TOTAL: 90,500.00
VUMA	VULCAN MATERIALS							
32908725	04/12/22	01	STONE	300010024160			05/15/22	336.60
								INVOICE TOTAL: 336.60
								VENDOR TOTAL: 336.60
VWPD	VERIZON WIRELESS							
9904278986	04/15/22	01	PD CELLULAR	010020024230			05/07/22	324.09
								INVOICE TOTAL: 324.09
								VENDOR TOTAL: 324.09
VWVH	VERIZON WIRELESS							
9904278987	04/15/22	01	ADM	010010024230			05/07/22	59.42
		02	PD	010020024230				171.27
		03	STREETS	010030024230				339.37
		04	WATER	300010024230				188.77
		05	SEWER	310010024230				159.85
								INVOICE TOTAL: 918.68
								VENDOR TOTAL: 918.68
WADI	WAREHOUSE DIRECT							
5221681-0	04/22/22	01	TOWELS/SOAP/PAPER	010010034650			05/22/22	89.19
								INVOICE TOTAL: 89.19
5221692-0	04/26/22	01	PITNEY BOWES RED INK	010010034650			05/26/22	199.18
								INVOICE TOTAL: 199.18
								VENDOR TOTAL: 288.37

DATE: 05/03/22
 TIME: 13:44:27
 ID: AP441000.WOW

VILLAGE OF HAMPSHIRE
 DETAIL BOARD REPORT

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WEX	WEX BANK - FLEET							
80638019	04/30/22	01	PD FUEL	010020034660			05/20/22	904.82
		02	SSA FUEL	520010024999				26.60
		03	STREETS FUEL	010030034660				193.09
		04	WATER FUEL	300010034660				101.31
		05	SEWER FUEL	310010034660				131.50
								INVOICE TOTAL:
								1,357.32
								VENDOR TOTAL:
								1,357.32
WEXE	WEX BANK - ENTERPRISE							
80362752	04/23/22	01	PD FUEL	010020034660			05/19/22	4,091.89
		02	STREETS FUEL	010030034660				1,074.30
		03	STREETS OPERATING SUPPLIES	010030034680				49.98
		04	WATER FUEL	300010034660				417.87
		05	SEWER FUEL	310010034660				385.88
								INVOICE TOTAL:
								6,019.92
								VENDOR TOTAL:
								6,019.92
								TOTAL ALL INVOICES:
								524,669.04