

Village of Hampshire Planning & Zoning Commission Meeting Monday, October 23, 2023 - 7:00 PM Hampshire Village Hall 234 S. State Street, Hampshire, IL 60140

AGENDA

- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. A Motion to Approve the Meeting Minutes from October 9, 2023
- 5. Old Business
 - a. Review of the EV Charging Zoning Amendment Passed by the Village Board
- 6. New Business
 - A Motion to combine the required Public Hearings for agenda items 6(b)-6(e), all for the Tinajero property consisting of approximately fifteen (15) acres located at the southeast corner of US Hwy 20 and Big Timber Rd in Hampshire Township, Kane County
 - b. A Motion to recommend approval of a Final Plat of Subdivision for the Tinajero property upon annexation to the Village, conditional upon receiving final engineering approval
 - c. A Motion to recommend approval of a Petition for Zoning Amendment for the Tinajero property to, upon annexation, classify Lots 1 and 2 in the B-3 Service Business Zoning District and Lot 3 in the M-1 Restricted Industrial Zoning District as shown on the proposed final plat of subdivision
 - d. A Motion to recommend approval of a Petition for Special Use for the Tinajero property to allow, upon annexation, "contractor yard" as a permitted use on Lot 3 as shown on the proposed final plat of subdivision, conditional upon including a solid wall or fence at least six feet but not more than eight feet in height, or densely planted landscaping at least six feet in height, along the southern border of the lot
 - e. A Motion to recommend approval of a Petition for Variance for the Tinajero property to allow, upon annexation, gravel surfacing on Lot 3 as shown on the proposed final plat of subdivision, conditional upon including a solid wall or fence at least six feet but not more than eight feet in height, or densely planted landscaping at least six feet in height, along the southern border of the lot
 - f. A Motion to authorize the Chair to report the actions of the Commission, with appropriate findings of fact and recommendation(s), to the Village Board of Trustees
- 7. Public Comments
- 8. Announcements
- 9. Adjournment

<u>Public Comments</u>: The Commission will allow each person who is properly registered to speak a maximum time of five (5) minutes, provided the Chair may reduce the maximum time to three (3) minutes before public comments begin if more than five (5) persons have registered to speak. Public comment is meant to allow for expression of opinion on, or for inquiry regarding, public affairs but is not meant for debate with the Commission or its members. Good order and proper decorum shall always be maintained.

<u>Recording</u>: Please note that all meetings held by videoconference may be recorded, and all recordings will be made public. While State Law does not required consent, by requesting an invitation, joining the meeting by link or streaming, all participants acknowledge and consent to their image and voice being recorded and made available for public viewing.

Accommodations: The Village of Hampshire, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the Village at 847-683-2181 to allow the Village to make reasonable accommodations for these persons.



Call to order

A meeting of Zoning and Planning commission was held at Village Hall on 10/9/23 at 7:02pm.

Attendees

Attendees included were Chairman B. Mroch, commissioners L. Rapach, B. Rossetti, G. Duchaj, R. Frillman, and A. Neal. A motion to allow video attendance of S. McBride was made by A. Neal, seconded by B. Rossetti, with a vote of 5 aye, 0 nay. Motion carried.

Members not in attendance

All members were in attendance.

Approval of minutes

A motion to approve the meeting minutes from August 14, 2023 was made by A. Neal, seconded by R. Frillman, with a vote of 5 aye, 0 nay, and 1 abstain. Motion carried.

A motion to approve the meeting minutes from September 11, 2023 was made by B Rossetti, seconded by L. Rapach, with a vote of 5 aye, 0 nay, and 1 abstain. Motion carried.

New Business

6(a) The public hearing was opened at 7:07pm. There was no public comment. Steven Bergland, the business owner spoke briefly on the reason for the special use on the property at 370 Brier Hill Road. His intent is to sell a new brand of trailer. He entered photo examples of the trailers that he would be carrying. (See attached) The public hearing was closed at 7:14pm.

6(b) A motion to recommend approval of a petition for special use for the property at 370 Brier Hill Road to allow for trailer sales in an M-2 zoning district was made by B. Rossetti, seconded by A. Neal, with a vote of 6 aye, 0 nay. Motion carried. 6(c) A motion to authorize the Chair to report the actions of the Commission, with appropriate findings of fact and recommendations, to the Village Board of Trustees was made by Neal, seconded by L. Rapach, with a vote of 6 aye, 0 nay. Motion carried.

Public Comment

No one signed up for public comment.

Announcements

There were no announcements.

A motion to adjourn the meeting at 7:30pm was made by S. McBride, seconded by A. Neal, with a vote of 6 Aye, 0 Nay. Motion carried.

Rechard Fullmant

Secretarv

Date of approval



Village of Hampshire 234 S. State Street, Hampshire IL 60140 Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

TO:Chairman Mroch; Planning and Zoning CommissionFROM:Josh Wray, Assistant to the Village ManagerFOR:Planning & Zoning Commission Meeting, October 23, 2023RE:Follow-Up on Electric Vehicle Charging

Background: The Village applied for and was accepted into the first cohort of government organizations in the Metropolitan Mayors Caucus' EV Readiness Program. Part of the program is to modify code language to better prepare the Village to accept and regulate EV charging, the largest component of which is zoning. After the PZC voted to recommend approval of an amendment, staff prepared an ordinance with one substantial change related to parking as noted below due to a new legal analysis received after the PZC meeting.

Analysis: There are several areas of electric vehicle (EV) charging regulation the PZC discussed, including type of charging (retail vs private), primary and accessory use, equipment placement, parking, and safety. Key points of the amendment included:

- <u>Zoning Districts</u>: Instead of adding electric vehicle charging as its own use, the PZC decide to modify the existing definition of "Automobile Service Station" to specifically include EV charging as it does for "Automobile/Truck Stops." EV charging is still allowed as an accessory use to any business/industrial use including parking lots, so the result is that EV charging will be permitted in the following zoning districts:
 - a. All estate and residential districts accessory use only
 - b. B-1 through B-3 business districts permitted as Automobile Service Stations
 - c. HC Highway Commercial district permitted as Automobile/Truck Stop
 - d. All other business/industrial districts accessory use only

Adjustments to the definitions of "Automobile Service Station" and "Public Garage" are also included to accomplish this change.

2. <u>Accessibility</u>: The PZC included specific reference to the accessibility laws for EV charging stalls, and its recommendation included modifying the currently adopted

2018 International Building Code to include a minimum of 5% accessible charging stalls, which has already been incorporated into the newer versions of the IBC.

3. Parking: The PZC's recommended ordinance included a distinction between parking spaces solely designated for EV charging and parking spaces that have an EV charger but are not designated solely for EVs (i.e., a non-EV could also park there). The PZC made this distinction to parse which charging stall could and could not count in the required parking spaces for a property – stalls solely designated for EV charging would not count, but stalls that also allowed non-EVs to park there would. Since the PZC meeting, the Metro Mayors Caucus staff provided an interpretation of the Illinois Electric Vehicle Charging Act that requires EV charging stalls to be only for EVs, which Village staff agrees with. Therefore, the attached draft ordinance corrects the language that was in conflict with State law. It now reads that EV charging stall may only be for EV charging, and EV charging stalls may count as required parking for up to 5% of the required number of spaces. This satisfies the EV-Readiness program requirements and the State law.

Action Needed: None



Village of Hampshire

234 S. State Street, Hampshire IL 60140 Phone: 847-683-2181 www.hampshireil.org

Agenda Supplement

то:	Chairman Mroch; Planning and Zoning Commission
FROM:	Josh Wray, Assistant to the Village Manager
FOR:	Planning & Zoning Commission Meeting - October 23, 2023
RE:	Tinajero Property Zoning and Subdivision

Background: Gonzalo Tinajero acquired the ~16 acres at the southeast corner of Big Timber and US Hwy 20 last year. His concept plan for development was previously approved with comments that the prior plan for M-2 zoning for his concrete contractor yard (no mixing) would be downgraded to M-1 with a special use. Mr. Tinajero is now seeking final approval.

Analysis: The property is currently unincorporated, and it is adjacent to a 5-acre unincorporated homesite to the south on US Hwy 20 with future homes of Oakstead further south, future commercial/industrial park across the highways to the north and west, and Big Timber Elementary School property to the southeast. The Tinajero property also partially surrounds an unincorporated residence.

Tinajero plans to utilize 3 acres of the southern portion of the property for his own concrete contractor business and will be seeking M-1 Restricted Industrial zoning with special use to do so. The remainder of this site will be subdivided and classified as B-3 Service Business zoning for future commercial development. Tinajero also plans to incorporate fencing and landscaping to screen his contractor business from the school site and the future homes of Oakstead south of his property. The petition also includes a variance request to allow gravel surfacing on the industrial lot.

Action Needed: Hold a combined public hearing on the four requests for this property and consider approval of each:

- Final plat of subdivision, subject to final engineering approval;
- Rezoning into the M-1 Restricted Industrial and B-3 Service Business zoning districts;
- Special use to allow the concrete contractor yard on the industrial lot, conditional upon screening on the southern border; and
- Variance to allow gravel surfacing, conditional upon screening on the southern border

AGE OF HAMPSHIRE HAMPSHIRE, ILLINOIS ID ZONING COMMISSION SHIRE, ILLINOIS NOTIC BEFORE THE PLANNING VILLAGE OF HAMPSHITE: ILLINOIS NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF HAMPSHIRE TO CONSIDER A PETITION FOR REZONING MAP (AMENDMENT) TO THE VILLAGE'S ZONING MAP, A SPECIAL USE PERMIT, A VARIANCE, AND OTHER RELIEF AS DEEMED NECESSARY NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission ("PZC") of the Village of Hampshire, Illinois (the "Village"), will meet on September 25th, 2023 of the Hampshire Village Hall, 234 S. State Street, Hampshire, IL 60140 commencing at 7:00 µm. to conduct a public hearing and consider and make recommendations as required by the applicable statutes of the State of Illinois and the Municipal Code of Hampshire of 1985 regarding the requested land use adjustments and relief for the Property (defined below): The property consists of approximately 15 acres and is proposed to be subdivided into three lots with the lots on the contractor yard. The petitioners intend to construct a building for its construction business on the southern lot with a special use to allow the operation of a contractor yard. The petitioners intend to construct a building for its construction business on the southern portion of the property. The requested variation will allow the driveway and parking areas to remain gravel. All of this depends on the property being annexed into the Village of Hampshire.
 The applicants are Gonzalo Tinalero and Yadira Arreola. Copies of the petition for the requested and use relief are on file with the Village Clerk at the Hampshire Village Hampshire.
 All persons present at the haubiner Village Hall, 234 S. State St., Hampshire, IL 60140 and are available for inspection during regular business hours. A copy of the proposed land use ordinance(s) will be on file for dependentiles.
 All persons present at the public hearing will be afforded an opportunity to be heard. Any person may submit written comments to the attention of the PZC colinue the haubilities are requested to contact OF

Vision of published by the authors, s. Village. This is regarding the property that has a common address of: Southeast corner of Timber Hill Road and US Route 20. PINs: 01-13-200-012 and 01-13-200-005. /s/ Linda Vasquez, Village Clerk Published in Daily Herald September 10, 2023 (4605235)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.



Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the Fox Valley DAILY HERALD. That said Fox Valley DAILY HERALD is a secular newspaper, published in Elgin, Kane County, State of Illinois, and has been in general circulation daily

throughout Kane County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the Fox Valley DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 09/10/2023

in said Fox Valley DAILY HERALD. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

Designee of the Publisher of the Daily Herald BY

Control # 4605235



Village of Hampshire



234 S. State Street, Hampshire, IL 60140 Phone: 847-683-2181 • www.hampshireil.org

Zoning Review Application

Date: May 31, 2023

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described. *(check all that apply)*

ECK all that appl IX Variance*

Special Use Permit*

Rezoning from <u>F County</u> District to <u>M1 with a special use to operate a contractor</u> <u>yard with a variation for gravel driveway and parking on the South side of the property</u>. The northern lots b-3 for the frontage property on Big Timber and Route 20

District (ex. M1 to M2)*

IX Annexation

⊠ Subdivision

Other Site Plan: ______*requires a 15-30 day public notice period

PART I. APPLICANT INFORMATION

APPLICANT (Please print or type)

Name: Gonzalo Tinajero Yadira Arreola Email: goni68@sbcglobal.net

Address: 538 Towne Ct Gilberts II 60136-9633

Phone: 847 337 0239

CONTACT PERSON (If different from Applicant)

Name: Joseph Gottemoller Attorney Email: Joe@mchenrycountylaw.com_____

Address: 1 N Virginia Street Crystal lake II 60014___

Phone:815 459 5152 _____

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

XXYES __NO

If the Applicant is <u>not</u> the owner of the subject property, a written statement from the Owner authorizing the Applicant to file the Development Application must be attached to this application.

IS THE APPLICANT AND/OR OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

__YES <u>XX</u>NO

If the Applicant and/or owner of the subject property is a Trustee of a land trust or beneficiaries of a land trust, a Disclosure Statement identifying each beneficiary of such land

9

trust by name and address, and defining his/her interest therein, shall be verified by the Trustee and shall be attached hereto.

PART II. PROPERTY INFORMATION

Name of Development (if any):Hilltop Concrete Construction Annexation, Zoning and Subdivision Plan Tinajero Subdivision

Address:	44W459	Big	Timber	Rd	Hampshire		60140
Parcel01-13-200-012,			01-13-2	200-005		Nu	mber(s):
Total Area (acre	s): <u>15</u>						
Legal Descripti	ion:See surv	/ e y					
Fire Hampshire	Fire Protection						District:
School District 300				District:			
Library Ella Johnson Memorial Public Library			rary				District:
Park Hampshir	e						District:
Township: Han	npshire						
Current Zoning	g District: F (Co	unty)					
Current Use: Vacant							

Proposed Zoning/Variance/Use:

The Southern lot will be classified M-1 with a special use to operate a contractor yard business and a variance to

allow gravel for driveway and parking. The other 2 lots will be classified for future a B-3 commercial use.

Reason/Explanation for Zoning/Variance/Use: The zoning , special use, variation and subdivision will allow for the development of the property .

PART III. REQUIRED DOCUMENTATION

From chart on next page

- □ Signed Development Application
- Signed Developer's Agreement (Attachment A)
- Deposit/Fee \$ 10,000 _____
 (see Village Ordinances and Requirements section)
- D Proof of Ownership or Option
- ☑ Legal Description of Property Plat of Survey
- ☑ List of property owners within 250 ft with parcel numbers (Attachment B) (see Attachment C for an example notification letter)
- Concept Plan see Subdivision Regulations for more information
- I Preliminary Plan see Subdivision Regulations for more information
- I Final Plan see Subdivision Regulations for more information
- Site Plan
- Landscape Plan: Preliminary or Final
- □ Architectural Elevations
- E Petition for Annexation
- I Plat of Annexation
- Soil & Water Conservation District Land Use Opinion See Kane-DuPage SWCD webpage
- Other_

Needed documentation may vary depending on the specific circumstances of the application. Therefore, <u>staff may require additional documentation after initial review</u> (e.g., fiscal impact study, endangered species report, wetland report etc.).

I, <u>Gonzalo Tinajero, Yadira Arreola</u>, hereby apply for review and approval of this application and represent that the application and requirements thereof and supporting information have been completed in accordance with the Hampshire ordinances.

Signature

DocuSigned by:

Signature

9/13/2023

Date

9/13/2023

Date

Attachment B- Affidavit of Notification

Affidavit of Notification of Neighboring Property Owners

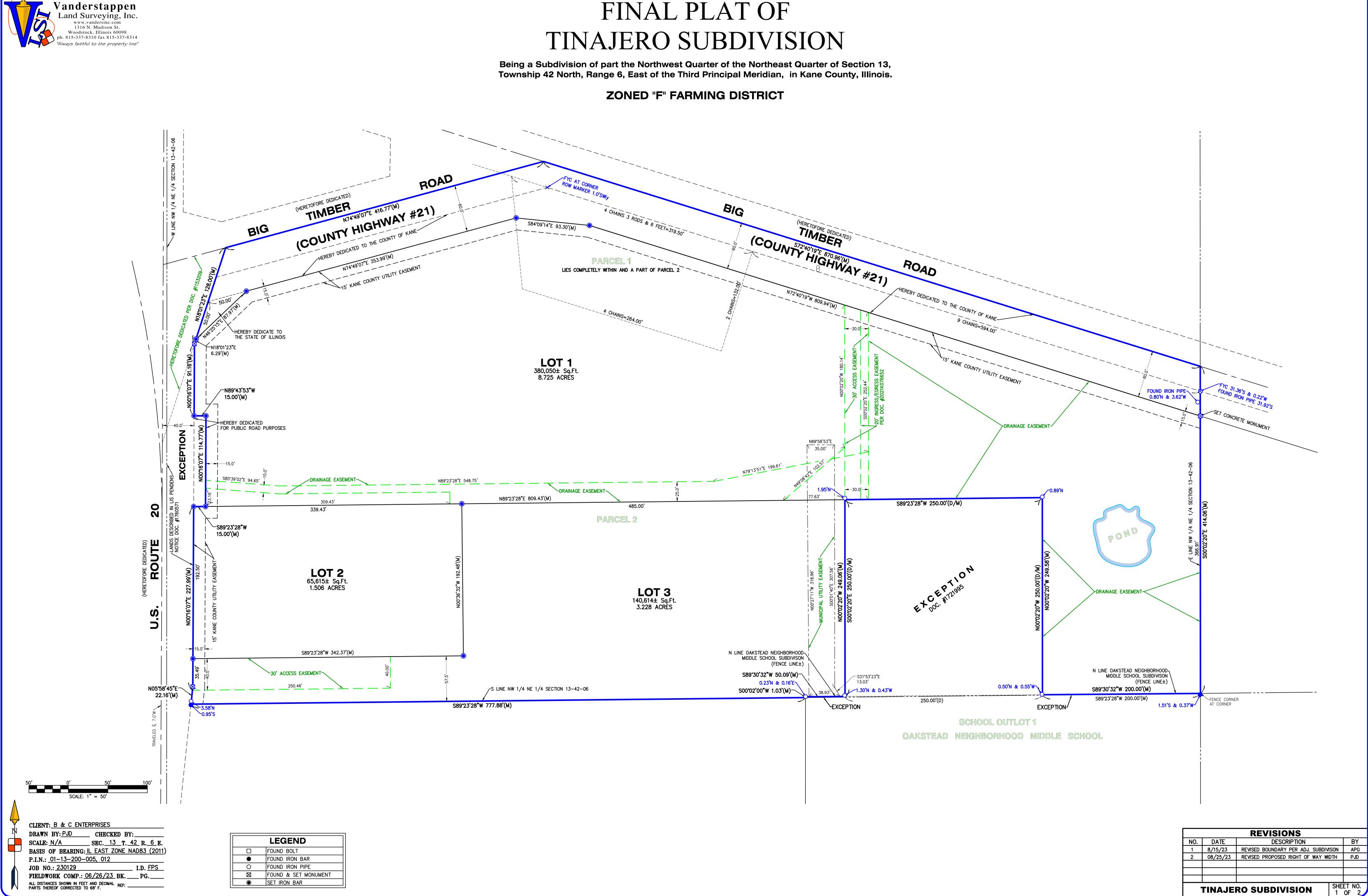
To: Village of Hampshire, 234 S. State St. Hampshire, IL 60140

From: _Joseph Gottemoller Attorney for the Petitioners Date September 8, 2023

The undersigned, being sworn upon his oath, deposes and says that the list below includes the names and addresses of all owners of property adjacent or within two hundred-fifty (250') feet of the property referred to in the Petition.

The property is located at SE Corner Big Timber Rd. & US Highway 20. PINS: 01-13-200-012 and 01-13-200-005

Property Index #	Property Owner	Address
01-13-100-011	Hampshire 20 LLC	28324 W. Arch Dr. Barrington, IL 60010
01-13-100-014; 01-13-100-018; 01-13-100-015;	Brier Hill Crossing, LLC	One Overlook Pointe Lincolnshire Corp Center Lincolnshire, IL 60069
01-13-200-023	Kevin & Leslie Kriegel	17N749 US Hwy 20, Hampshire, IL 60140-8881
01-13-200-029	Comm Unit School Dist. 300	2550 Harnish Dr. Algonquin, IL 60102
01-13-200-004; 01-13-200-009	Wesley J. Brazas, Jr.	44W331 Big Timber Rd. Hampshire, IL 60140
01-13-200-030	Hampshire East LLC	1751A W. Diehl Rd. Naperville, IL 60563
01-13-100-013	Jesus M. Feliciano	11N120 Hawthorne St. Elgin, IL 60123-5823
01-13-100-019	Pericle & Elia Mercuri	18N816 Aztec Lane
By: Joseph Gottemoller attorney for Pet Name	itioner <u>formular de</u> Signature	Huntley, IL 60142-8004



Y:\PLATS\2023\0001-0199\230129_V-230129\230129-B-FPS.dwg-Sheet 1-8/25/2023 5:00 PM

FINAL PLAT OF

"Always faithful to the property line"	
OWNER'S CERTIFICATE	
STATE OF ILLINOIS)	
) SS	
COUNTY OF KANE)	MORTGAGE
This is to certify that, is the fee simple owner of the property described in the foregoing surveyor's certificate and has caused the same to be surveyed, subdivided, and platted as	STATE OF ILI
shown hereon for the uses and purposes herein set forth as allowed and provided for by statute, and hereby acknowledges and adopts the same under the style and title aforesaid. The undersigned hereby dedicates for public use the lands shown on this plat for thoroughfares, streets,	COUNTY OF
alleys and public services; and hereby also reserves for the Village of Hampshire, Ameritech, Com Ed, Nicor, Mediacom and their respective successors and assigns, the easement provisions which are stated	COUNTY OF
and shown hereon. The undersigned further certify that all of the land included in this plat lies within the boundaries of	under Mortg County, Illing
community unit school district 300.	dedication a
dated at, Kane County, Illinois, thisday of, 2023.	Dated this _
owner/owners	Ву:
	•
	ATTEST:
NOTARY CERTIFICATE	
STATE OF ILLINOIS)) SS	NOTARY CE
COUNTY OF)	STATE OF ILL
l, a notary public in and for the county and state aforesaid, do hereby certify that known to me	COUNTY OF .
to be the same person whose names are subscribed to the foregoing instrument, appeared before me this day and acknowledged that they signed and delivered the said instrument as their free and voluntary act,	l, hereby certil
for the uses and purposes therein set forth.	to be the so day and ack
Given under my hand and notarial seal, this day of, 20, 20 A.D.	for the uses
Notary Public My Commission Expires	Given under
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FIELDWORK COMP.: <u>06/26/23</u> BK. ____ PG. ____

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ALL DISTANCES SHOWN IN FEET AND DECIMAL REF: _____

FINAL PLAT OF TINAJERO SUBDIVISION

Being a Subdivision of part the Northwest Quarter of the Northeast Quarter of Section 13, Township 42 North, Range 6, East of the Third Principal Meridian, in Kane County, Illinois.

ZONED "F" FARMING DISTRICT

FICATE

SS

___, hereby certifies that as mortgagee of the property described hereon ____ and recorded in the Recorder's Office of __ as Document No. _____ it consents to the ion as hereon drawn.

___ day of _____, 2023.

) SS

_____, a notary public in and for the county and state aforesaid, do _____, personally known to me whose names are subscribed to the foregoing instrument, appeared before me this that they signed and delivered the said instrument as their free and voluntary act, oses therein set forth.

and notarial seal, this _____ day of_____, 20___ A.D.

My Commission Expires

CERTIFICATE

SS

lage Engineer of the Village of Hampshire, Illinois, this day of .___, 2023.

CERTIFICATE

SS

nty Engineer of the County of Kane, this _____ day of ___, 2023.

OF TRANSPORTATION CERTIFICATE

ed by the Illinois Department of Transportation with respect to roadway aph 2 of "An Act to revise the law in relation to plats," as amended. uirements contained in the Department's "Policy on Permits for Access ys" will be required by the Department.

ingineer

TIFICATE

d by the Kane County Highway Department with respect to access to known as Big Timber Road , pursuant to Illinois Revised State Statutes, however, a highway permit for access is required of the owner of the ion within the County right-of-way.

_____, 20___ .

PUBLIC UTILITY EASEMENT PROVISION

An easement for serving the subdivision and other property with electric and communications services is hereby reserved for and granted to:

Commonwealth Edison Company, Cable Television Company or Franchises

AT&T, Grantees

their respective successors and assigns, jointly and severally, to install, operate, maintain, and remove, from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and sounds and signals in, over, under, across, along and upon the surface of the property shown within the dotted or dashed lines on the plat and marked "Easement" or "PUE", the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as a "Common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the right to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantees' facilities or in, upon or over the property within the dotted lines marked "Easement" or "PUE" without the prior written consent of grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have that meaning set forth for such term in Section 2(e) of "An act in relation to condominiums" (Illinois Revised Statutes, Ch. 30, par. 302(e)), as amended from time to time. The term "common area or areas" is defined as a lot, parcel, or area of real property, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such areas may be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking and common area". The terms "common area or areas " and "Common Elements" includes real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool or retention pond, or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of Grantor/Lot Owner, upon written request. An easement is hereby reserved for and granted to NICOR, its successors and assigns to install, operate, maintain,

repair, replace and remove facilities used in connection with the transmission and distribution of natural gas in, over, under, across, along and upon the surface of the property shown within the dotted or dashed lines on the plat and marked "Easement", "Common Area or Areas", and streets and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", together with the right to install required service connections over or under the surface of each lot and "Common Area or Areas" to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limited to, trees, bushes, roots and fences, as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over NICOR's facilities or in, upon or over the property identified on this plat for utility purposes without prior written consent of NICOR. After installation of any such facilities, the grade of the property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof. The term "Common Elements" shall have that meaning set forth for such term in Section 605/2(e) of the "Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)), as amended from time to time. The term "common area or areas" is defined as a lot, parcel, or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

NICOR GAS EASEMENT PROVISION

An easement is hereby reserved for and granted to NORTHERN ILLINOIS GAS COMPANY, an Illinois Corporation, doing business as NICOR GAS COMPANY, its successors and assigns (hereafter "Nicor") to install, operate, maintain, repair, replace and remove, facilities used in connection with the transmission and distribution of nature gas in, over, across, along and upon the surface of the property shown on this plat marked "Easements", "Utility Easement", "Public Utility Easement" "P.U.E.", Public Utility & Drainage Easement", "P.U. & D.E.", "Common Areas or Areas" (or similar designations), street and alleys, whether public or private, and the property designated in the Declaration of Condominium and/or on this Plat as "Common Elements" together with the right to install required service connections over or under the surface of each lot and Common Area or Areas to serve improvements thereon, or on adjacent lots, and Common Area or Areas, and to serve other property, adjacent or otherwise, and the right to remove obstructions, including but not limited to, trees, bushes, roots and fences, as may be reasonably required incident to the right herein given, and the right to enter upon the property for all such purposes. Obstructions shall not be placed over Nicor facilities or in, upon or over the property identified on this plat for utility purposes without the prior written consent of Nicor. After installation of any such facilities, the grade of the property shall not be altered in a manner, so as to, interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in Section 605/2(e) of the Condominium Property Act" (Illinois Compiled Statutes, Ch. 765, Sec. 605/2(e)), as amended from time to time.

The term "Common Area or Areas" is defined as a lot, parcel or area of real property, including real property surfaced with interior driveways and walkways, the beneficial use and enjoyment of which is reserved in whole as an appurtenance to the separately owned lots, parcels or areas within the property, even though such areas may be designated on this plat by other terms.

MUNICIPAL UTILITY EASEMENT PROVISION

Municipal Utility Easement (MUE): An easement for serving the subdivision and other property with domestic water, sanitary sewer and storm water drainage is hereby reserved for and granted to the Village of Hampshire, Illinois, their successors and assigns, to install, operate, maintain, relocate, renew and remove facilities used in connection with sewer and water mains, in, under, across, along, and upon the surface of the property shown on the plat within the areas marked as "Municipal Utility Easement" (M.U.E.) and those parts designated on the plat as dedicated for public street, together with the right to cut, trim, or remove trees, bushes, and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the property for all such purposes. Each individual entity or other party accepting title to all or any part of the Municipal Utility Easement (MUE) shall conclusively be deemed to have covenanted and agreed, jointly and severally, to maintain the surface of that portion of the Municipal Utility Easement which is located on such party's property so that it is in good condition for its intended purpose as a Municipal Utility Easement (which maintenance shall include, but shall not be limited to, the regular seeding, watering and mowing of all lawns). No titleholder of any part or portion of the Municipal Utility Easement (or any party acting on behalf of the titleholder) shall:

i. Install, construct, erect, place or plant any building, structures, improvements or vegetation (other than grass or approved plantings) upon the Municipal Utility Easement, including, but not limited to fences, walls, patios, sheds, posts, trees, plants or shrubbery, except as shown on the approved landscape plan, or ii. Alter, modify or change in any way the topography or elevations of the Municipal Utility Easement.

Said easements may be used for driveways and parking. However, the grade of the subdivided property shall not be altered in any manner so as to interfere with the proper operation and maintenance thereof, or with the surface drainage thereon. The property owner and or the property owner association are completely responsible for landscape and/or paving restoration, should maintenance of the utility be required. The Village of Hampshire is responsible of repairing water services between the water main, to and including the buffalo box. The property owner and/or the property owner's association are responsible for the restoration of the

surface after any such water service repair. Only perpendicular crossings of the M.U.E. are permitted by public utilities. The M.U.E.'s are exclusive of the blanket

UTILITY EASEMENT PROVISION

A permanent non-exclusive easement is hereby reserved for and granted to the County of Kane (hereinafter "the Grantee"), and to all public utility and other companies of any kind operating under franchise granting them rights from the Grantee, including, but not limited to the following companies: AT & T, Commonwealth Edison Company (ComEd), Northern Illinois Gas Company (Nicor), Cable Communication Companies and Municipal Water and Sanitary Facilities, and to the successors and assigns in, upon, across, over, under and through the areas shown by dashed lines and labeled "Utility Easement" on this plat of subdivision, or where otherwise noted in the above legend for the purpose of installing, constructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning and maintaining above ground or below ground electrical, cable television, communication, gas, telephone or other utility lines and appurtenances, and such other installations and service connections as may be required to furnish public utility services to adjacent areas, and such appurtenances and additions thereto as the Grantee may deem necessary, together with the right of access across the real estate platted hereon for the necessary personnel and equipment to do any or all of the above work. No permanent buildings or trees shall be placed on said easements, but the premises may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid uses and rights. Fences shall not be erected upon said easements in any way which will restrict the uses herein aranted except where specifically permitted by written authority from the Grantee. The right is also hereby granted to the Grantee to cut down, trim or remove any trees, fences, shrubs or other plants that interfere with the operation of or access to said utility installation in, on, upon, across, under or through said easements. The Grantee shall not be responsible for replacement of any such improvements, fences, gardens, shrubs or landscaping removed during exercise of the herein given rights. Replacement of items so removed shall be the responsibility of the then lot owner.

COUNTY CLERK CERTIFICATE

) SS

___, County Clerk of Kane County, Illinois, do hereby

, an Illinois Registered Land Surveyor, do hereby certify that we

certify that there are no delinquent general taxes, no unpaid current taxes, no unpaid

forfeited taxes, and no redeemable tax sales against any of the land included in the

annexed plat. I further certify that I have received all statutory fees in connection with

Given under my name and seal of the County Clerk at Geneva, Illinois, this _____ day of

This instrument filed for record in the Recorder's office of Kane County, Illinois, on this

have surveyed and subdivided the following described property, and that the Plat as drawn

That part of the Northwest Quarter of the Northeast Quarter of Section 13, Township 42 North,

Range 6 East of the Third Principal Meridian, lying Southerly of the centerline of the most Southerly highway through said Quarter Quarter in Hampshire Township, Kane County, Illinois,

(excepting that part conveyed to Wesley J. Brazas Jr by Deed 1721995 recorded May 17, 1985

and described as follows: The South 250.0 feet of the West 250.0 feet of the East 450.0 feet of the Northwest Quarter of the Northeast Quarter of Section 13, Township 42 North, Range 6

East of the Third Principal Meridian, lying Southerly of the centerline of the most Southerly

highway through said Quarter Quarter, in Hampshire Township, Kane County, Illinois.) Also excepting

that part taken by IDOT per Case Ed 86 008 per document recorded February 28, 1985 as

Document No. 1760571, Also excepting that part of the said Northwest Quarter of the Northeast

Quarter falling within Oakstead Neighborhood Middle School, being a subdivision of part of the said

Northeast Quarter, according to the plat thereof recorded December 15, 2021 as Document No.

That part of the Northwest Quarter of the Northeast Quarter of Section 13, Township 42 North,

Range 6 East of the Third Principal Meridian, described as follows: Commencina at the

intersection of the Southerly line of the state road with the East line of said Northwest Quarter

of the Northeast Quarter, thence Westerly along said Southerly line, 9 chains to the Place of

Beginning, thence Southerly at right angles to said Southerly line, 2 chains, thence Westerly,

parallel with said Southerly line, 4 chains, thence Northerly to a point in the Southerly line of the

South highway, 4 chains, 3 rods, and 6.0 feet Westerly, as measured along the Southerly line of

said highway from the Place of Beginning, thence Easterly along said Southerly line 4 chains, 3

rods, and 6.0 feet, to the Place of Beginning, all in the Township of Hampshire, Kane County,

I, further certify; that upon completion of construction, concrete monuments, as shown, and 5/8"

iron bars at all lot corners and points of change in alignment will be set, as required by the Plat

Act (765 ILCS 205/1). This is also to certify that the property, as described, lies within the corporate limits of the Village of Hampshire, Illinois, which has adopted a comprehensive plan.

I, further certify; that based upon examination of the Flood Insurance Rate Map of Kane County. Illinois #17089C0126J with an effective date of June 2, 2015 indicates subject property residing in

Zone "X" an area determined to be outside the 0.2% chance of annual flooding.

Given under my hand and seal at, Woodstock, Illinois this the __th., day of 2023

distances are given in feet and decimal thereof.

Illinois Registered Professional Land Survey No.

Vanderstappen Land Surveying, Inc.

Design Firm No. 184-002792

Expires: April 30, 2025

I, further certify; that these professional service conforms to the current Illinois Minimum

Standards applicable to a Boundary Survey, as it applies to a Final Plat of Subdivision. All

_____ day of _____, 2023 A.D., at ____ o'clock __M. and recorded as

STATE OF ILLINOIS)

COUNTY OF KANE)

the annexed plat.

County Clerk

_____, 2023.

RECORDER'S CERTIFICATE

Document Number: _____

SURVEYOR'S CERTIFICATE

represents said survey and subdivision thereof;

STATE OF ILLINOIS

2021K093105.

Parcel 2:

COUNTY OF MCHENRY

) SS

STATE OF ILLINOIS)

COUNTY OF KANE)

County Recorder

REVISIONS DESCRIPTION NO. DATE I BY 1 8/15/23 REVISED BOUNDARY PER ADJ. SUBDIVISON APG 2 08/25/23 REVISED PROPOSED RIGHT OF WAY WIDTH PJD SHEET NO. TINAJERO SUBDIVISION 2 OF 2

PROJECT GROUP

TI















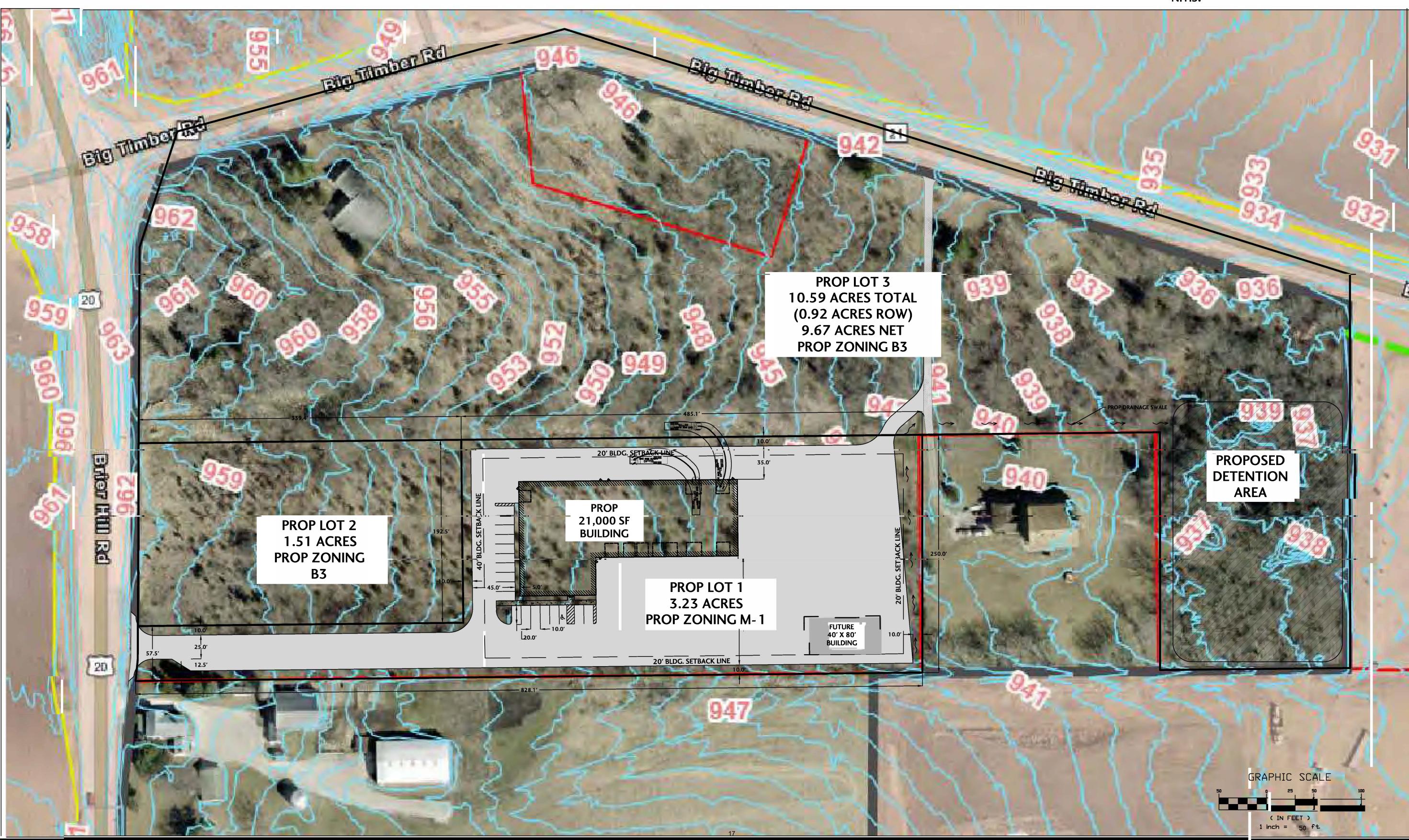
Big Timber Rd

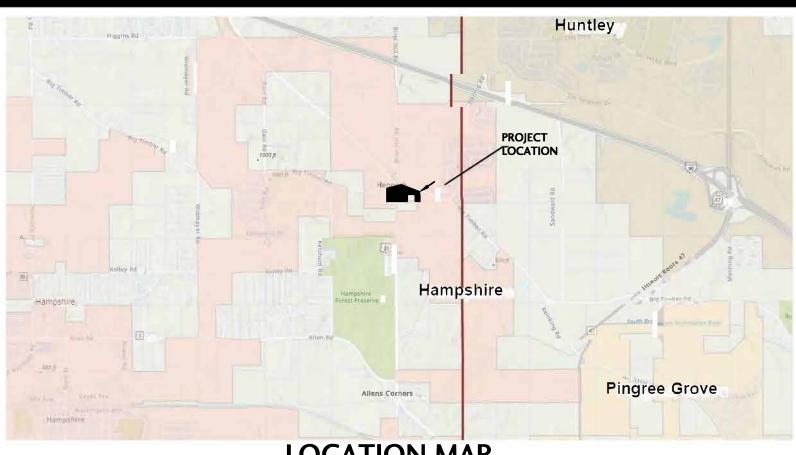
Big Timber 🌍 Elementary School 💙

-

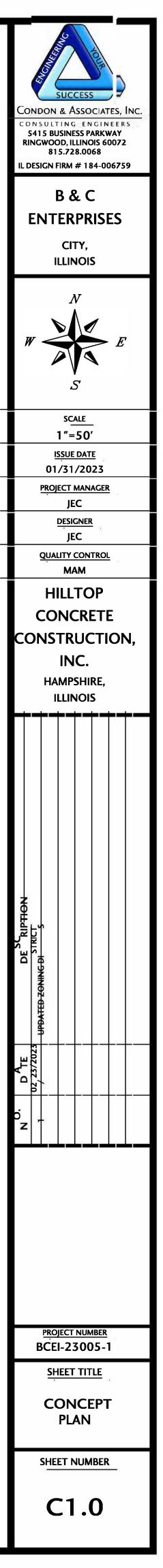


TINAJERO SUBDIVISION HILLTOP CONCRETE CONSTRUCTION FACILITY **CONCEPT PLAN**

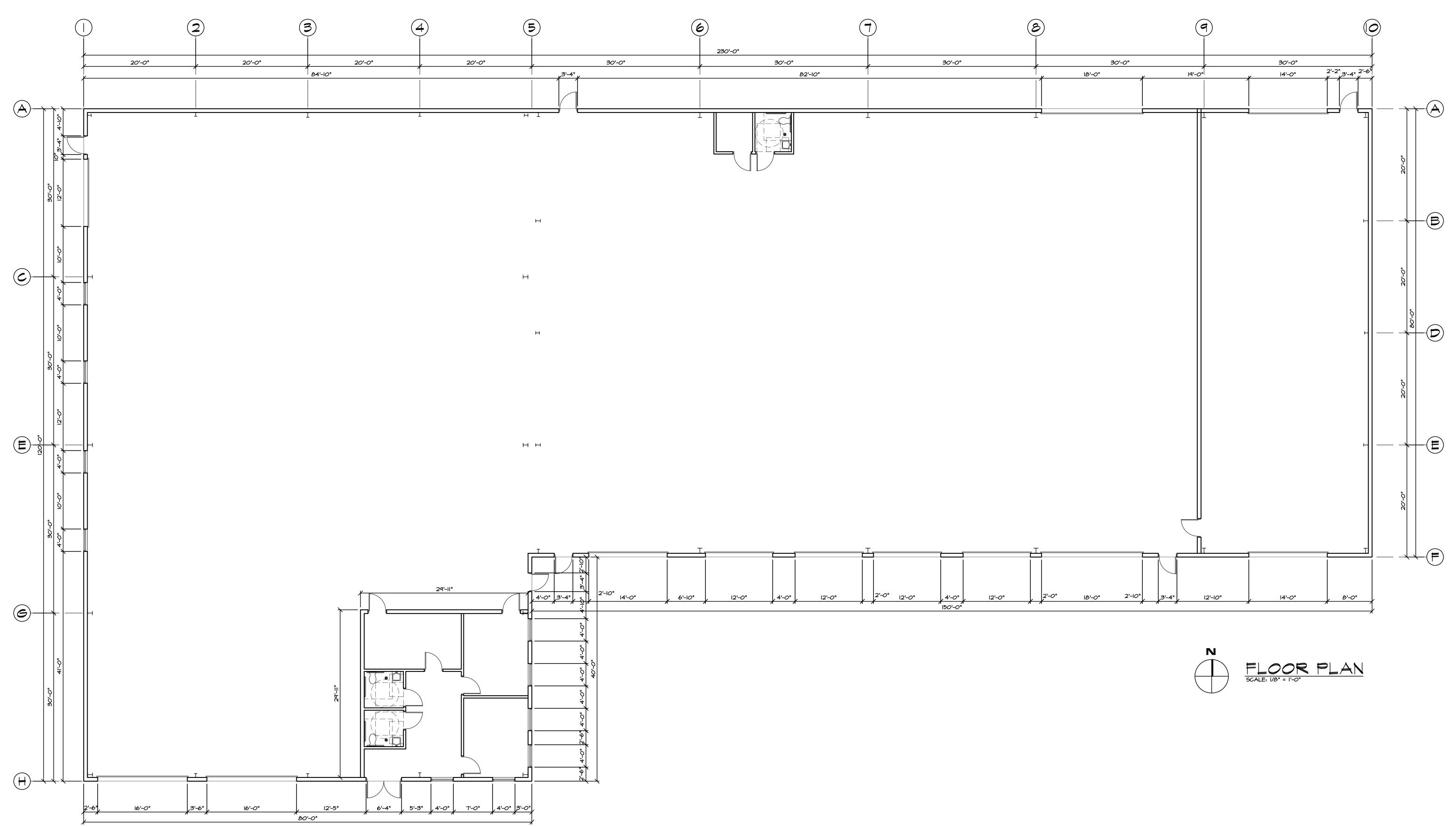




LOCATION MAP N.T.S.



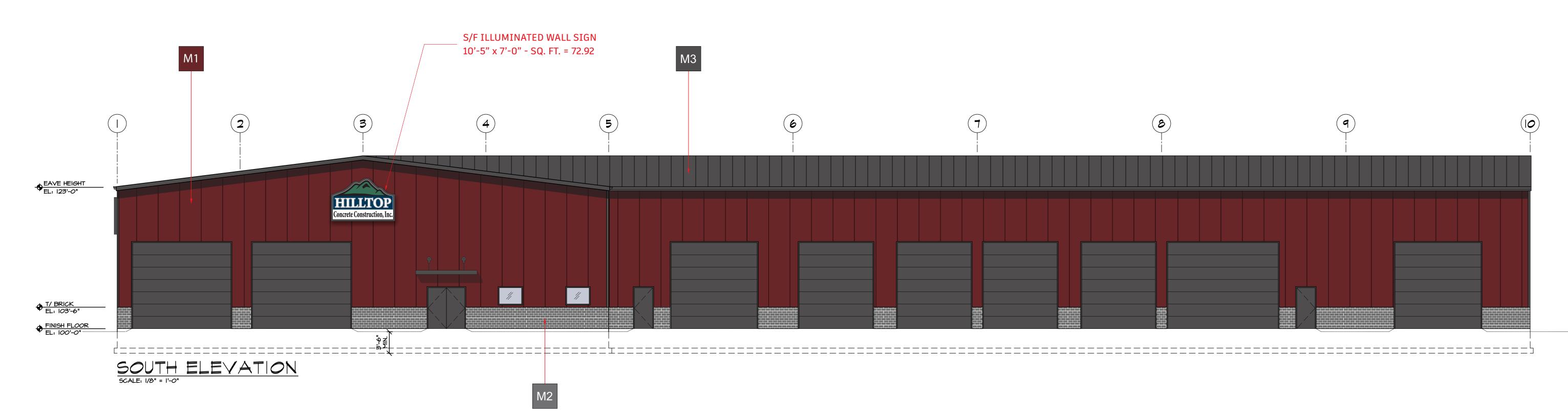




HAMPSHIRE, ILLINOIS







TRIM COLORS (VALSPAR COLOR CODE)

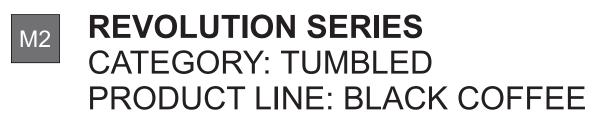
GABLE / RAKE: S200 CHARCOAL GRAY EAVE: S200 CHARCOAL GRAY **DOWNSPOUTS:** S300 COLONIAL RED **OTHER:** S200 CHARCOAL GRAY **GUTTER:** S200 CHARCOAL GRAY **CORNER:** S300 COLONIAL RED **BASE:** S200 CHARCOAL GRAY **DOWN SPOUTS TYPE:** ROLL FORMED

METL SPAN - 42" CF MESA [EMBOSSED]



METL SPAN S300 COLONIAL RED

BRICK PANELS





MBCI - DOUBLE-LOK

Coverage Width: 18", 24" Minimum Slope : 1/4:12 Gauge : 22 and 24 Coatings : Galvalume Plus®



HILLTOP CONCRETE HAMPSHIRE, ILLINOIS OPTION 1 - 10'-5" x 7'-0"

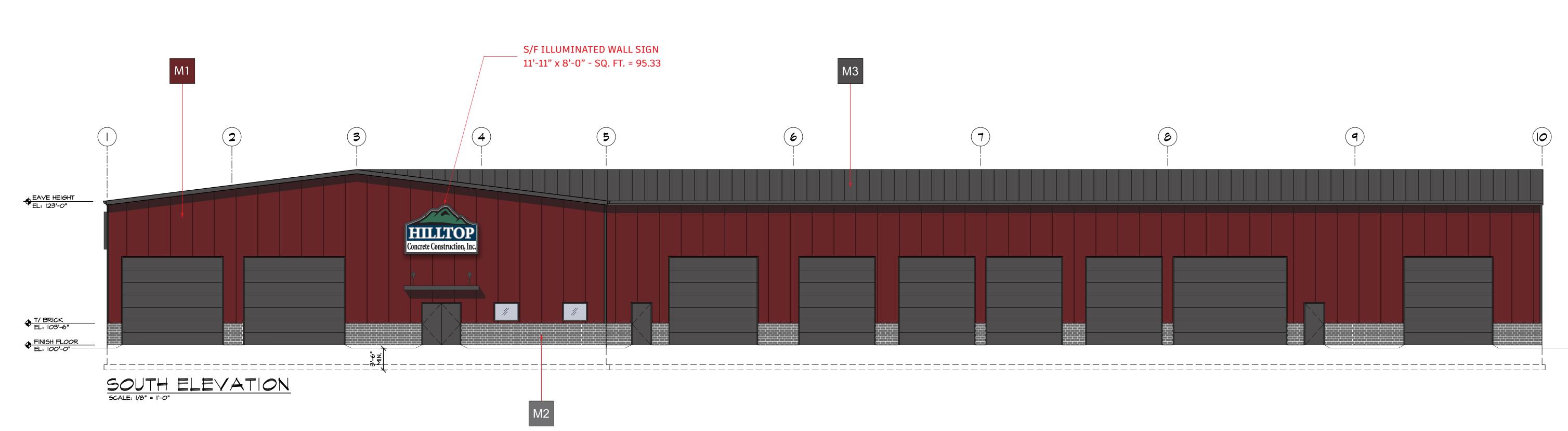
Panel Attachment : Concealed Fastening System; Low, High and 2" Stand Off Sliding Clips

Finishes : Smooth (standard); Embossed (optional)

COLOR TO BE \$300 CHARCOAL GRAY







TRIM COLORS (VALSPAR COLOR CODE)

GABLE / RAKE: S200 CHARCOAL GRAY EAVE: S200 CHARCOAL GRAY **DOWNSPOUTS:** S300 COLONIAL RED **OTHER:** S200 CHARCOAL GRAY **GUTTER:** S200 CHARCOAL GRAY **CORNER:** S300 COLONIAL RED **BASE:** S200 CHARCOAL GRAY **DOWN SPOUTS TYPE:** ROLL FORMED

METL SPAN - 42" CF MESA [EMBOSSED]



METL SPAN S300 COLONIAL RED

BRICK PANELS



REVOLUTION SERIES CATEGORY: TUMBLED PRODUCT LINE: BLACK COFFEE



MBCI - DOUBLE-LOK

Coverage Width: 18", 24" Minimum Slope : 1/4:12 Gauge : 22 and 24 Coatings : Galvalume Plus®



HILLTOP CONCRETE HAMPSHIRE, ILLINOIS OPTION 2 - 11'-11" x 8'-0"

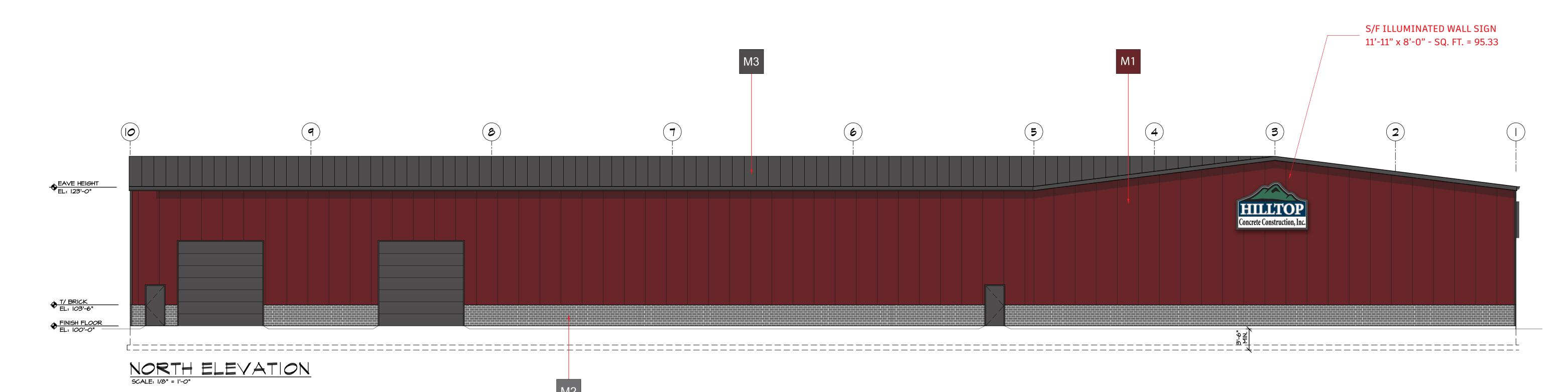
Panel Attachment : Concealed Fastening System; Low, High and 2" Stand Off Sliding Clips

Finishes : Smooth (standard); Embossed (optional)

COLOR TO BE \$300 CHARCOAL GRAY







TRIM COLORS (VALSPAR COLOR CODE)

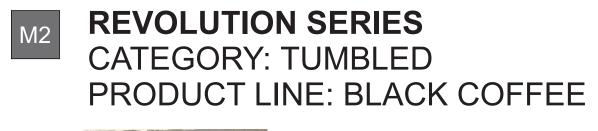
GABLE / RAKE: S200 CHARCOAL GRAY EAVE: S200 CHARCOAL GRAY **DOWNSPOUTS:** S300 COLONIAL RED **OTHER:** S200 CHARCOAL GRAY **GUTTER:** S200 CHARCOAL GRAY **CORNER:** S300 COLONIAL RED BASE: S200 CHARCOAL GRAY **DOWN SPOUTS TYPE:** ROLL FORMED

METL SPAN - 42" CF MESA [EMBOSSED]



METL SPAN S300 COLONIAL RED

BRICK PANELS





MBCI - DOUBLE-LOK

Coverage Width: 18", 24" Minimum Slope : 1/4:12 Gauge : 22 and 24 Coatings : Galvalume Plus®



21

HILLTOP CONCRETE HAMPSHIRE, ILLINOIS

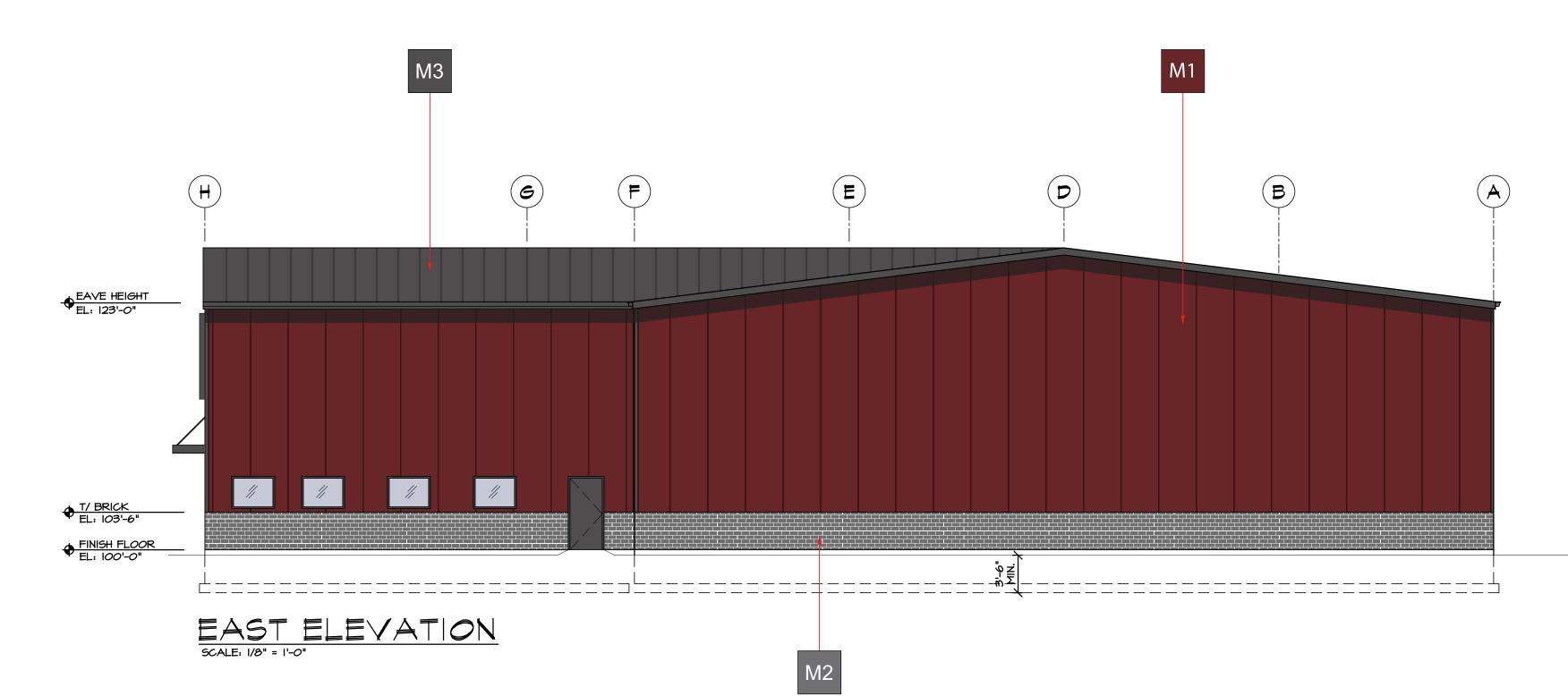
Panel Attachment : Concealed Fastening System; Low, High and 2" Stand Off Sliding Clips

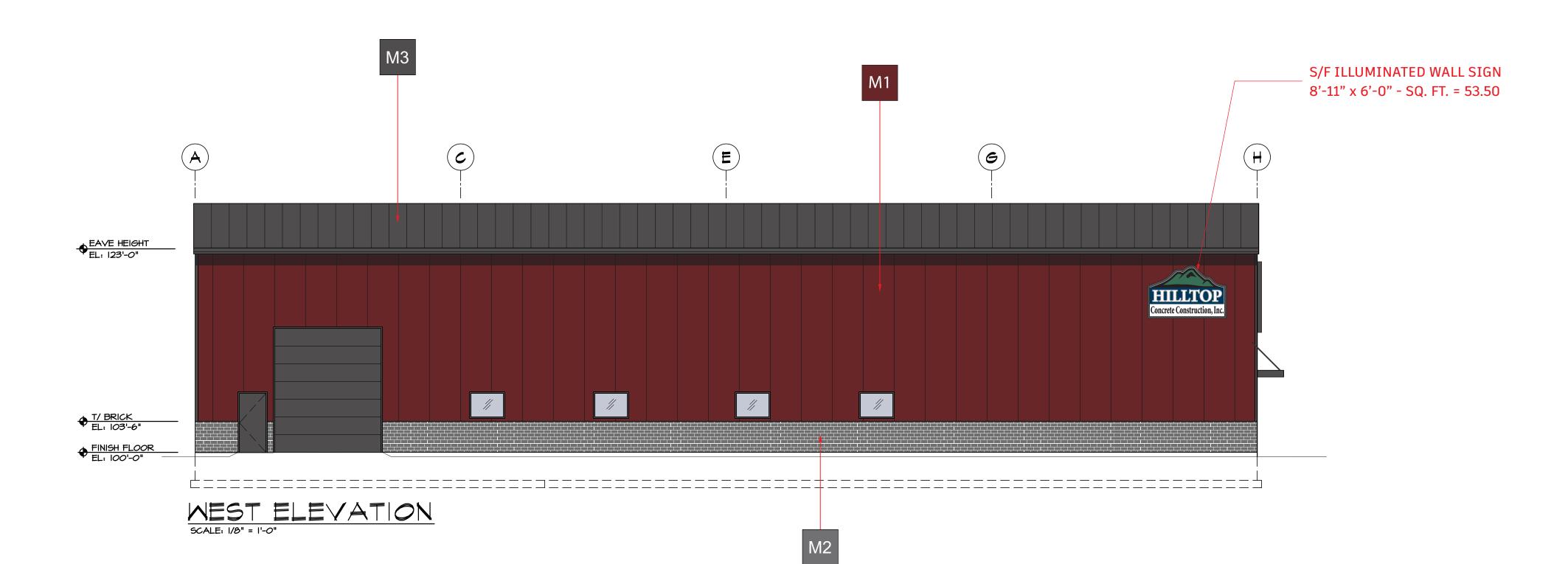
Finishes : Smooth (standard); Embossed (optional)

COLOR TO BE \$300 CHARCOAL GRAY









HAMPSHIRE, ILLINOIS

TRIM COLORS (VALSPAR COLOR CODE)

GABLE / RAKE: S200 CHARCOAL GRAY EAVE: S200 CHARCOAL GRAY DOWNSPOUTS: S300 COLONIAL RED OTHER: S200 CHARCOAL GRAY GUTTER: S200 CHARCOAL GRAY CORNER: S300 COLONIAL RED BASE: S200 CHARCOAL GRAY

METL SPAN - 42" CF MESA [EMBOSSED]



METL SPAN S300 COLONIAL RED

BRICK PANELS



REVOLUTION SERIES CATEGORY: TUMBLED PRODUCT LINE: BLACK COFFEE



MBCI - DOUBLE-LOK

Coverage Width: 18", 24"

Minimum Slope : 1/4:12

Panel Attachment : Concealed Fastening System; Low, High and 2" Stand Off Sliding Clips

Gauge : 22 and 24

Finishes : Smooth (standard); Embossed (optional)

Coatings : Galvalume Plus®























Kane-DuPage Soil & Water Conservation District

LAND USE OPINION

23-012

March 28, 2023

Prepared for:

Village of Hampshire

Petitioner:

J. Condon & Associates 5415 Business Parkway Gilberts, IL 60072

Healthy Land, Healthy Water, Healthy Communities

PURPOSE AND INTENT

This Land Use Opinion report and Natural Resources Inventory intend to present the most current natural resource information available for a parcel, lot, or tract of land in an understandable format. It contains a description of the present conditions and resources available and their potential impact on each other, especially in regards to a proposed change to that parcel of land. This information comes from standardized data, investigations of the parcel, and other information furnished by the petitioner. **This report must be read in its entirety**, so that the relationship between natural resource factors and the proposed land use can be fully understood.

This report presents natural resource information to owners, land-managers, officials of local governing bodies, and other decision makers concerning the parcel. Decisions concerning variations, amendments, or relief of local zoning ordinances may reference this report. Also, decisions concerning the future of a proposed subdivision of vacant or agricultural lands, and the subsequent development of these lands may reference this report. This report is a requirement under the State of Illinois Soil and Water Conservation District Act contained in ILCS 70, 405/1 ET seq.

This report provides the best available natural resource information for the parcel and when used

properly, will provide the basis for good land use change decisions and proper development while protecting the natural resource base of the county. However, because of the variability of nature, and because of the limitations of map scale and the precision of natural resource maps (which includes the property boundaries represented for the parcel), this report does not reflect precise natural resource information at specific locations within the parcel. On-site investigations, soil evaluations, and engineering studies should be conducted as necessary, for point-specific information.

The opinions and ratings given in this report are based on the review of natural resource maps and literature, and are the opinions of the Kane-DuPage Soil and Water Conservation District. The opinions are not meant as a recommendation for the success, nor the failure of, the proposed use of this parcel.

This report should alert the reader to the capabilities of the parcel and to the possible issues that may occur if the properties and characteristics of the land are ignored. Please direct technical questions about information supplied in this report to:

Kane-DuPage Soil & Water Conservation District 2315 Dean Street, Suite 100 St. Charles, IL 60175 Phone: (630) 584-7960 x3

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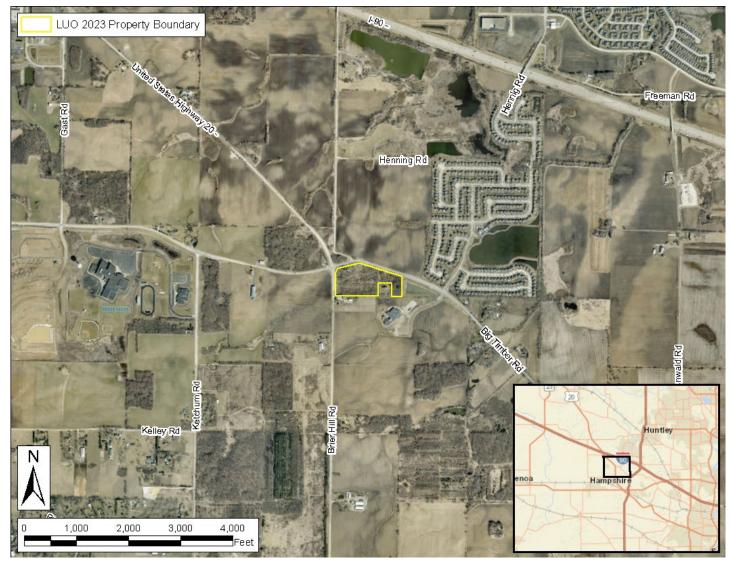


Figure 1: Plat Map with aerial background and parcel boundary

This site is in Hampshire Township. The public land survey system identifies the site in Section 13 in Township 42 North and Range 6 East. The site is parcel #01-13-200-012 located at 44W459 Big Timber Road in Hampshire.

LAND COVER IN THE EARLY 1800'S

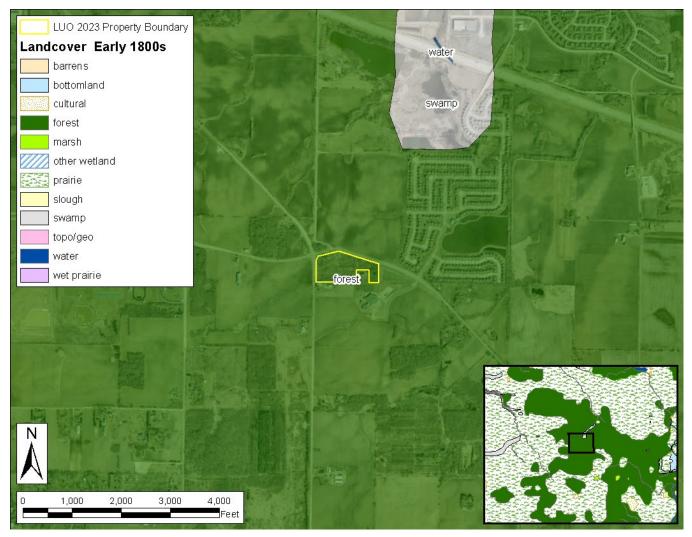


Figure 2: Land Cover of Illinois in the Early 1800's

The public land survey system represents one of the earliest detailed maps for Illinois. The surveys began in 1804 and were largely completed by 1843. The surveyors recorded the land cover and natural resource areas as they worked across the state. These plat maps and field notebooks contain a wealth of information about what the landscape was like before large numbers of settlers came into the state and began modifying the land.

Much of the landscape of Illinois in the early 1800's consisted of two different natural resource areas; prairie and forest. The forest category includes woodlands and savannas, typical of northeastern Illinois. Prairie and forest ecosystems are extremely valuable resources for many reasons. These areas:

- provide wildlife habitat and support biodiversity
- provide areas for recreational opportunities

- improve soil health and reduce soil loss
- improve air and water quality

The original 42 categories of natural resource areas were later simplified to 12 categories; barrens, bottomland, cultural (farms), forest, marsh, other wetlands, prairie, slough, swamp, special geographic features, wet prairie, and water. The maps do not represent exact site conditions, but represent the observations of individual surveyors as they crossed through the area.

This site is recorded as forest land cover on the early 1800's map. The Kane-DuPage Soil & Water Conservation District recommends preserving as much of the natural character of the site as possible, using native plants for landscaping, and removing and controlling invasive species.

23-012

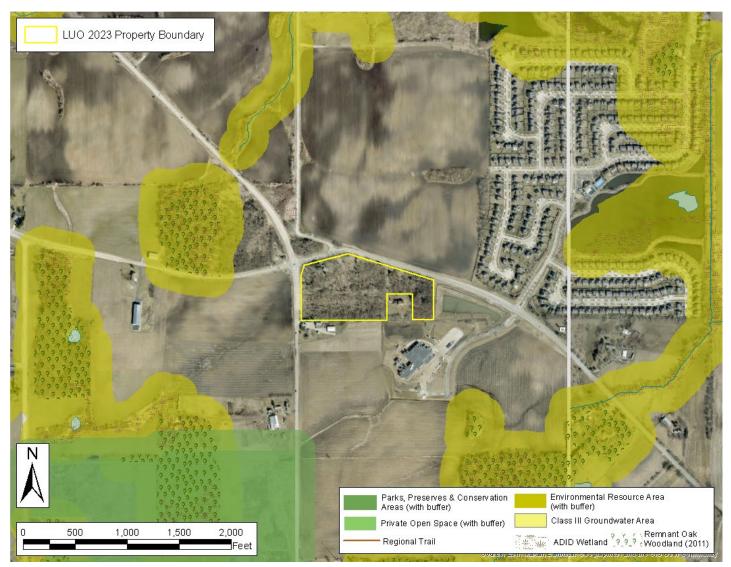


Figure 3: Kane County 2040 Green Infrastructure Plan site map

Green infrastructure is an interconnected system of natural areas and open spaces including woodlands, wetlands, trails, and parks, which are protected and managed for the ecological values and functions they provide to people and wildlife. The Kane County Green Infrastructure Plan includes analysis of existing natural resources in the county and recommendations for green infrastructure priorities and approaches. The goal is to lay the ground-work for green infrastructure planning and projects at the regional, community, neighborhood, and site level, (from the "Kane County 2040 Green Infrastructure Plan"). The benefits of green infrastructure include:

- Preservation of habitat and diversity
- Water and soil conservation
- Flood storage and protection
- Improved public health
- Encourage local food production
- Economic benefits
- Mitigation and adaptation for climate change

There are no priority areas from the "Kane County 2040 Green Infrastructure Plan" on this site.

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NATIONAL WETLAND INVENTORY (NWI)



Figure 4: National Wetland Inventory (NWI) Map

The National Wetland Inventory (NWI), conducted by the U.S. Fish and Wildlife Service, identifies significant wetlands throughout the country. All U.S. federal agencies define wetlands as follows, "Those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs and similar areas." Other common wetlands located in this part of Illinois are fens, wet meadows, seasonally saturated soils, and farmed wetlands.

Wetlands are protected and regulated by federal, state, and local laws, without regard to size. Wetlands are valuable, productive, and diverse ecological systems and provide multiple benefits, including:

controlling flooding by slowing the release of

excess water downstream or through the soil,

- cleansing water by filtering out sediment and pollutants,
- functioning as recharge areas for groundwater,
- providing essential breeding, rearing, and feeding habitat for many species of wildlife.

The National Wetland Inventory identifies wetlands on this site. These wetlands include: PUBF – Palustrine Unconsolidated Bottom Semi-Permanently Flooded. Although the NWI is very thorough, it is not a complete inventory of all possible wetlands. Other regulated wetlands may also be present.

The KDSWCD recommends contacting the U.S. Army Corps of Engineers and the Kane County Division of Environmental and Water Resources before commencing any construction activities that may impact wet areas or floodplains. Please see the Regulatory Agencies page near the end of the report for wetland regulation information.

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ADVANCED IDENTIFICATION OF WETLANDS (ADID)



Figure 5: Advanced Identification of Wetlands (ADID), Kane County

Released in August of 2004, the Kane County Advanced Identification of Wetlands (ADID) study was a cooperative effort between federal, state, and local agencies to identify the location and quality of the wetlands of Kane County and to develop wetland protection strategies. ADID studies are a U.S. Environmental Protection Agency program to provide improved awareness of the locations, functions, and values of wetlands and other waters of the United States. This information can be used by federal, state, and local government to aid in zoning, permitting, and land acquisition decisions. In addition, the information can provide data to agencies, landowners, and private citizens interested in restoration or protection of aquatic sites and resources. For more detailed information regarding wetlands in Kane County, please refer to the Advanced Identification of Wetlands (ADID) study at:

http://dewprojects.countyofkane.org/adid/

A review of the Kane County ADID map revealed that ADID wetlands were identified on this site. This wetland has been designated as having a high habitat quality and high functional value.

WETLAND PHOTOS

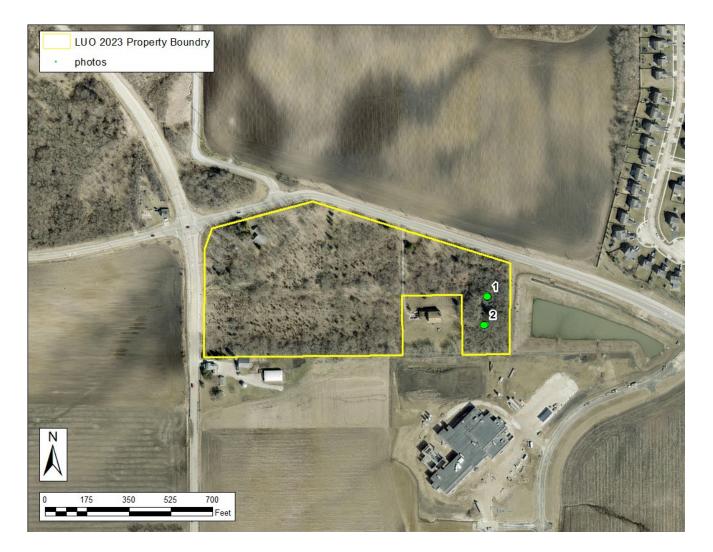


Figure 6: Wetland photos



Photo 1: Facing South



Photo 2: Facing West

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FLOODPLAINS

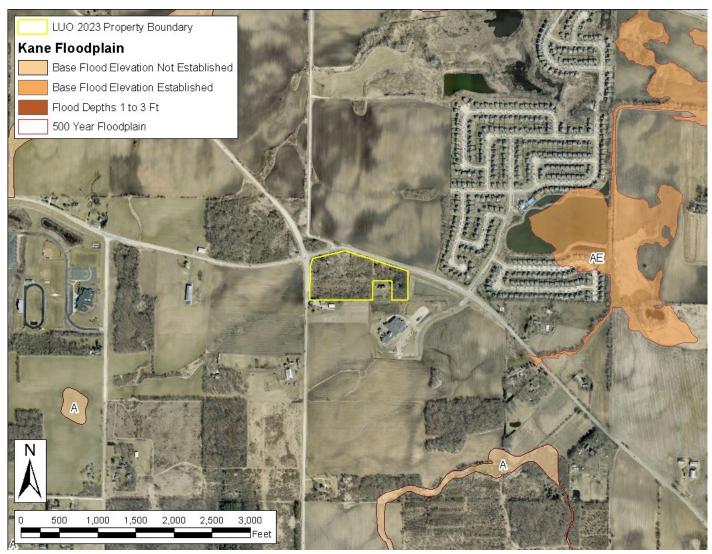


Figure 7: Floodplain map - Federal Emergency Management Agency (FEMA)

Undeveloped floodplains provide many natural resources and functions of considerable economic, social, and environmental value. Floodplains often contain wetlands and other important ecological areas as part of a total functioning system that impacts directly on the quality of the local environment.

Here are a few of the benefits and functions of floodplains:

- natural flood storage and erosion control,
- water quality maintenance,
- groundwater recharge,
- nutrient filtration,

- biological productivity/wildlife habitat,
- recreational opportunities/aesthetic value.

Also, development in a floodplain has a hazardous risk of damage by high flood waters and stream overflow. For this reason, floodplains are generally unsuited to most development and structures.

According to the FEMA Flood Insurance Rate Map, **none** of this site is within the boundaries of a 100-year floodplain. Any development in the floodplain, other than restoration efforts, is generally unsuited and hazardous and will impede the beneficial functions of the floodplain. See the Regulatory Agencies page near the end of this report for information regarding floodplain regulations.

WATERSHEDS AND STREAMS

Watersheds are areas of land that eventually drain into a river or stream. Everyone lives in a watershed, no matter if a river or stream is nearby. Watersheds may be named according to its major river or stream. Watersheds, such as the Mississippi River watershed, may be extremely large, encompassing multiple states. Watersheds may also be subdivided into smaller units. Some very small watersheds may not contain a named stream. However, the water that drains from that watershed eventually reaches a stream or river. Watersheds may also be referred to as hydrologic units (HU) and may be identified by a number.

Kane County has been subdivided into three watersheds by federal and state agencies, based upon the drainage area of local rivers: the Kishwaukee River watershed in the northwest; a small portion of the Des Plaines River watershed, along the border with DuPage County; and the Fox River watershed, which occupies the central portion of the county. The Kishwaukee River watershed is part of the Rock River watershed and the Des Plaines River and Fox River watersheds are part of the Illinois River watershed. Both the Rock River and Illinois River are part of the greater Mississippi River watershed. These watersheds have been subdivided into smaller local watersheds for planning.

Local watershed management planning is an important effort that involves citizens of a watershed in the protection of their local water resources. Water quality is a reflection of its watershed.

Common Watershed Goals:

- Protect and restore natural resources
- Improve water quality
- Reduce flood damage
- Enhance and restore stream health
- Guide new development to benefit watershed goals
- Preserve and develop green infrastructure
- Enhance education and stewardship

There are many watershed plans that have already been developed in DuPage County. Please follow the link below to the DuPage County Stormwater Management Watershed Plans.

https://www.dupageco.org/EDP/Stormwater_Mana gement/6597/ **Rivers and Streams** are necessary components of successfully functioning ecosystems. It is important to protect the beneficial functions and integrity of our local streams and rivers. Development near stream systems has the potential to increase flooding, especially in urban areas where there is a lot of impervious surface and a greater amount of stormwater runoff. Pollution is also an issue for stream systems in urban and rural areas. It is rare for any surface waters to be impacted by only one source of pollution. With few exceptions, every landuse activity is a potential source of nonpoint source water pollution (IEPA Nonpoint Source Pollution).

The Illinois Environmental Protection Agency (IEPA) provides the following in regards to nonpoint source pollution, "Nonpoint source pollution (NPS) occurs when runoff from rain and snowmelt carries pollutants into waterways such as rivers, streams, lakes, wetlands, and even groundwater. Examples of or sources of NPS pollution in Illinois include runoff from farm fields, livestock facilities, construction sites, lawns and gardens, city streets and parking lots, surface coal mines, and forestry. The major sources of NPS pollution in Illinois are agriculture, urban runoff, and habitat modification."

Nutrient management is of vital importance to the health of our rivers and streams. Nutrient load in our local streams and rivers has contributed to the Gulf of Mexico hypoxia, or a "dead zone" located where the Mississippi River meets the Gulf of Mexico. This dead zone has little to no biological activity. Yearly averages indicate the dead zone to be greater than 5,000 square miles in size. Illinois was required and has introduced a plan to reduce nutrient loss from point source pollution sources, such as wastewater treatment plants and industrial wastewater, as well as nonpoint pollution sources. Read Illinois's Plan for reducing nutrient loss here:

https://www2.illinois.gov/epa/topics/waterguality/watershed-management/excessnutrients/Pages/nutrient-loss-reductionstrategy.aspx

AQUIFER SENSITIVITY



Figure 8: Aquifer Sensitivity to Contamination map

The map of Aquifer Sensitivity to Contamination is a representation of the potential vulnerability of aquifers (underground water sources) to contamination from pollutants at or near the surface of the ground. The U.S. Environmental Protection Agency (US EPA) defines aquifer sensitivity contamination potential as "a measure of the ease with which a contaminant applied on or near the land surface can migrate to an aquifer."

Aquifers function as a storage area for groundwater, which makes them a valuable source of fresh water. Groundwater accounts for a considerable percentage of the drinking water in Kane County. The chart below shows the aquifer sensitivity classifications. **This site is classified as having a low potential for contamination.**

A1	Aquifers are greater than 50ft thick and within 5ft of the surface	C1	Aquifers are greater than 50ft thick and between 20 and 50ft below the surface
A2	Aquifers are greater than 50ft thick and between 5 and 20ft below the surface	C2	Aquifers are between 20 and 50ft thick and between 20 and 50ft below the surface
A3	Aquifers are between 20 and 50ft thick and within 5ft of the surface	C3	Sand and gravel aquifers are between 5 and 20ft thick, or high- permeability bedrock aquifers are between 15 and 20ft thick, both between 20 and 50ft below the surface
A4	Aquifers are between 20 and 50ft thick and between 5 and 20 feet below the surface	D1	Aquifers are greater than 50ft thick and between 20 and 50 ft below the surface
B1	Sand and gravel aquifers are between 5 and 20ft thick, or high-permeability bedrock aquifers are between 15 and 20ft thick, both within 5ft of the surface	D2	Aquifers are between 20 and 50ft thick and between 50 and 100ft below the surface
B2	Sand and gravel aquifers are between 5 and 20ft thick, or high-permeability bedrock aquifers are between 15 and 20ft thick, both between 5 and 20ft below the surface	D3	Sand and gravel aquifers are between 5 and 20ft thick, or high- permeability bedrock aquifers are between 15 and 20ft thick, both between 50 and 100ft below the surface
E1	Sand and gravel or high-permeability bedrock aquifers are no	t present	within 100 ft of the land surface

A = High Potential, B = Moderately High Potential, C=Moderate Potential, D = Moderately Low Potential, E = Low Potential

TOPOGRAPHY AND OVERLAND FLOW

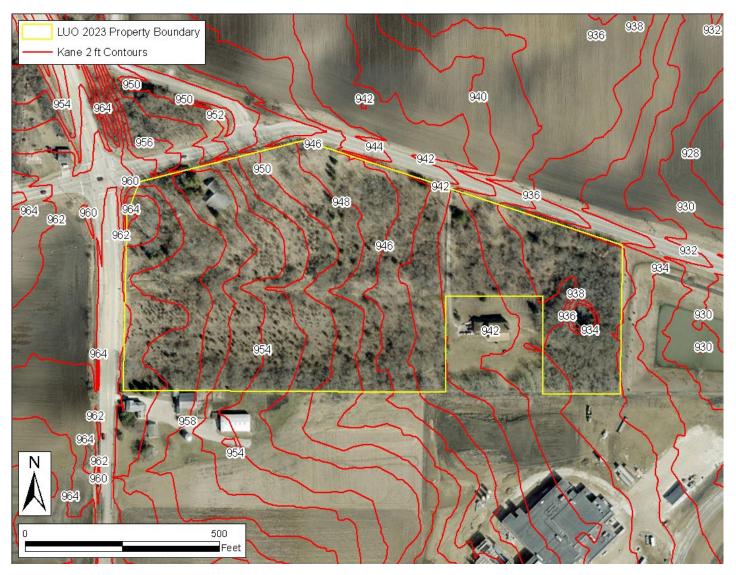


Figure 9: Topographic map showing contour lines

Topographic maps (contour maps) give information on the elevation of the land, which is important to determine slope steepness, natural water flow paths, and watershed information. The natural water flow path can determine where water leaves a property and where it may impact surrounding natural resources. Slope, along with soil erodibility factors, affect the potential of soil erosion on a site. Contour maps can also help determine the areas of potential flooding. It is important to consider the direction of water flow and erosion potential on all construction sites. Areas where water leaves the site should be monitored for sediment and other pollutants, which could contaminate downstream waters.

The map above shows contour lines with 2 feet elevation distance between each line. The high point of this property is in the western portion of the site at an elevation of approximately 964 feet above sea level. The property generally drains to the east via overland flow. The lowest elevation on the property is approximately 934 feet above sea level.

STORMWATER MANAGEMENT

Managing stormwater and stormwater runoff is critical for all development. Stormwater runoff from a site usually increases as a result of soil compaction, more impervious surfaces, loss of vegetation, and soil degradation during construction activities. Increased runoff causes downstream flooding, soil erosion, sedimentation, and pollution of surface waters. The KDSWCD recommends the use of onsite stormwater management strategies whenever possible. These strategies include: stormwater retention and detention basins; bioswales, raingardens, and the use of natural depressions and vegetated swales; deeprooted native plants; permeable pavers or permeable asphalt. Combinations of these and other practices may be able to retain stormwater onsite. The Illinois Environmental Protection Agency (IEPA) now

recommends that stormwater pollution prevention plans include post-construction stormwater management to keep as much stormwater on the site, as possible.

Site assessment with soil testing should help to determine what stormwater management practices are best for your site. Insufficient stormwater management has the potential to cause or aggravate flooding conditions on surrounding properties, or elsewhere in the watershed. Please refer to the Kane County Stormwater Ordinance for stormwater requirements and minimum standards.

https://www.countyofkane.org/FDER/Pages/environ mentalResources/waterResources.aspx

SOIL EROSION

Soil erosion is the degradation of soil, mostly caused by the force of rain and the movement of water detaching soil particles and carrying the soil off the site. Factors that affect soil erosion are the slope of the land, the inherent properties of the soil, and the cover (or lack of cover) on the soil surface. Extra care must be taken to prevent or reduce soil erosion on construction sites containing highly erodible soils.

The potential for soil erosion during and after construction activities could have major impacts, both onsite and offsite. The erosion and resulting sedimentation may become a primary nonpoint source of water pollution. Eroded soil during the construction phase can create unsafe conditions on roadways, degrade water quality, and destroy aquatic ecosystems lower in the watershed. Soil erosion also increases the risk of flooding due to choking culverts, ditches, and storm sewers, and reduces the capacity of natural and man-made detention facilities. Construction and development activities should include a soil erosion and sedimentation control plan. Erosion and sedimentation control measures include:

- staging the construction to minimize the amount of disturbed areas present at the same time,
- keeping the ground covered, either by mulch or vegetation, and
- keeping runoff velocities low.

Many construction sites are required to develop and follow a Stormwater Pollution Prevention Plan (SWPPP) in order to be in compliance with local, state, and federal laws regarding soil erosion and stormwater management. Soil erosion and sedimentation control plans, including maintenance responsibilities, should be clearly communicated to all contractors working on the site. Special care must be taken to protect any wetlands, streams, and other sensitive areas.

Please refer to the Illinois Urban Manual for erosion and sediment control information and technical guidance when creating erosion and sediment control plans. The practice standards and standard drawings from the Illinois Urban Manual represent the minimum standard in Illinois. Contact the KDSWCD for assistance in preparing a stormwater pollution prevention plan.

HIGHLY ERODIBLE LAND (HEL)

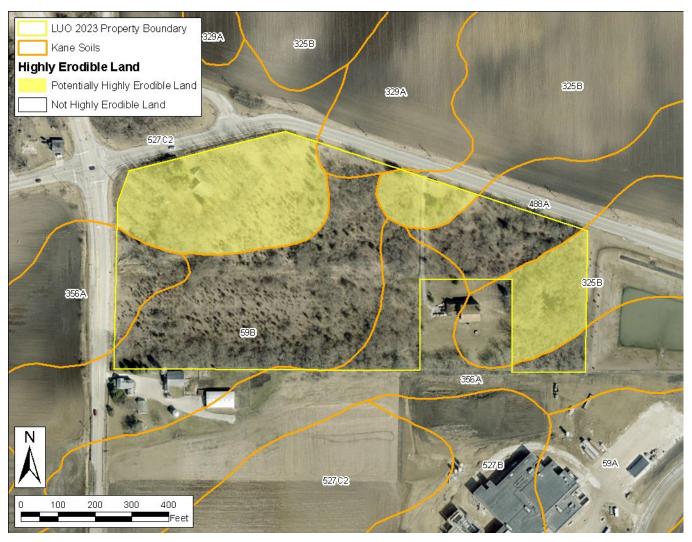


Figure 10: Highly Erodible Land map

Soils vary in their susceptibility to erosion. Highly erodible land (HEL) is land that can erode at excessive rates. Highly erodible land is generally sloping and contains soils that are susceptible to soil erosion by runoff and raindrop impact. The susceptibility to erosion and the highly erodible rating depend upon several factors and properties of the soil. Fine-textured soils high in clay have low erodibility values, because the soil particles are resistant to detachment. Coarse-textured soils, such as sandy soils also have low erodibility values because the water infiltrates and they have less runoff. Medium textured soils, such as loams, are moderately susceptible to detachment and they produce moderate runoff. Soils having a high silt content, like many soils in Kane County, are the most erodible of all soils. They are easily detached and

they tend to crust and produce large amounts and rates of runoff.

Other factors that affect the erodibility of soils include the force of the rainfall, the steepness and length of the slope of the land, and the amount of organic matter in the surface soil layer.

Highly Erodible Land (HEL) contains soils that have been determined by the USDA Natural Resources Conservation Service to be highly erodible. The HEL determination uses a formula involving the properties previously described, to determine the Soil Erodibility Index. Soils that have a Soil Erodibility Index above a certain value are considered highly erodible or potentially highly erodible. Soils on this site are considered Potentially Highly Erodible Land (PHEL) by the NRCS.

SOILS & SOIL INTERPRETATIONS

Soils are our foundation for life and most of what we do and need depend upon the soil. Soil is a dynamic ecosystem of living things; plants, animals, and microscopic organisms. Soil is also a substance composed of various minerals and organic matter, interfused with lots of pore spaces which help move and store air and water. Soils are formed over hundreds and thousands of years, taking about 500 years to form an inch of topsoil. Soil is formed by the influences of climate, organisms (plants and animals), topography, the material in which it is developing (parent material), and time. There are thousands of soil series in the world. In Illinois alone, there are over 600 different soil series. Each soil series is unique in its content and its behavior for a particular use.

The different soils across the U.S. have been mapped and identified by the USDA Natural Resources Conservation Service (NRCS) in a soil survey. The soil map of this area (Figure 61: Soil Survey) indicates different soil map units. Each soil map unit and corresponding symbol represent a phase of a soil series. Phases include slope, erosion, flooding frequency, etc. of each soil. Each soil and associated phase have strengths and limitations for a variety of land uses such as septic systems, buildings site development, local roads, and many other uses. **See the** <u>Soil Map Units Table</u> in the <u>Soil Survey</u> section for the composition of soil map units of the site. See the <u>Soil Interpretations</u> section for the soil interpretations for the proposed use of the site.

How the soil is managed as a resource, can be either beneficial or detrimental for the environment or for any particular use. It is difficult to change the inherent properties of the soil, such as the mineral composition or the amount of sand, silt, or clay in the soil. However, it is easy to compact the soil and erode the soil so much that many of the soil functions, such as water storage, infiltration, rooting medium, carbon storage, and soil health can all be compromised or destroyed. Management techniques to protect the integrity and functions of the soil include:

- limiting traffic on the site to reduce compaction of the soil surface
- keeping the soil covered as much as possible, with deep rooted grasses or with mulch or other erosion control practices

 disturbing only the areas necessary for the footprint of structures and reducing or eliminating mass grading of sites

Soils and Onsite Waste Disposal

Soils are often used for onsite waste disposal or underground septic systems to dispose of sewage, especially for individual homes that are not connected to a municipal sewage system. No interpretive rating is given in this report for on-site wastewater disposal (septic systems). The detail of the soil information in the soil survey is not precise enough to determine suitability for the small area required for a septic system. A Certified Professional Soil Classifier, in cooperation with the county department of public health, must conduct a soil evaluation to determine the suitability of the parcel for on-site wastewater disposal (i.e. septic system), as required by the State of Illinois.

Soil Interpretation Ratings

The soil interpretation (limitation) ratings are used mainly for engineering designs for proposed uses, such as dwellings with or without basements, local streets and roads, small commercial buildings, etc. The ratings given are based on NRCS national criteria and are defined and used as follows:

Not Limited – This limitation rating indicates that the soil properties are generally favorable for the specified use and that any limitations are minor and easily overcome.

Somewhat Limited - This rating indicates that the soil properties and site features are unfavorable for the specified use, but that the limitations are moderate and can be overcome or minimized with special planning and design.

Very Limited - This indicates that one or more soil properties have severe limitations and are very unfavorable and difficult to overcome. A major increase in construction effort, special designs, or intensive maintenance is required. These costly measures may not be feasible for some soils that are rated as Very Limited.

Contact the KDSWCD for questions concerning the soil and refer to the **Illinois Urban Manual** for best management practices to protect the soil resource.

SOIL SURVEY

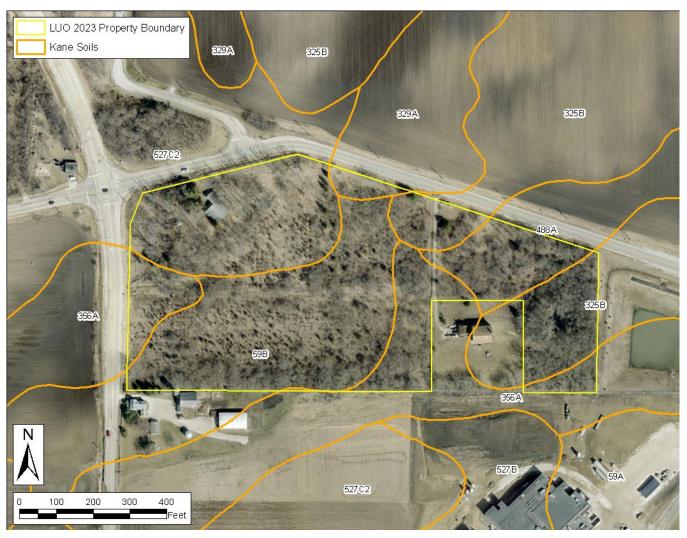


Figure 11: Soil Survey

The soil map unit symbol consists of a combination of numbers and letters which represent the interpretive phase of a soil series for an area of the landscape. Areas within the line of that symbol will have similar soil properties and interpretations.

The soil map in this report has been enlarged beyond the original scale. Enlargement of this map may cause misunderstanding of the accuracy and precision of the mapping. When enlarged, maps do not show the small areas of contrasting soil that could have been identified if the mapping was completed at a larger scale. The depicted soil boundaries and interpretations derived from the map units do not eliminate the need of onsite sampling, testing, and detailed study of specific sites for intensive uses. Thus, this map and its interpretations are intended for planning purposes only.

The KDSWCD suggests to contact a certified professional soil classifier to conduct an onsite investigation for point-specific soil information to determine the capabilities and the limitations of the soil for a specific use.

SOIL MAP UNIT DESCRIPTIONS

The map units delineated on the detailed soil map in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in the report, along with the map, can be used to determine the composition and properties of a unit.

A map unit delineation of a soil map represents an area dominated by one or more major kinds of soil or miscellaneous area. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. The scale of the maps limits the detail that can be shown. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils. These minor components are inclusions within the named map unit.

	Total	14.37
527C2 – Kidami	23%	3.36
488A – Hooppole	9%	1.29
356A – Elpaso	16%	2.28
329A – Will	2%	0.25
325B – Dresden	13%	1.93
59B – Lisbon	37%	5.26
SUIL MAP UNIT SYMBOL	OF PARCEL	ACRES
SOIL MAP UNIT	PERCENT	ACRES

Table 1: Soil Map Units

All percentages and acreages are approximate.

- 59B Lisbon silt loam, 2 to 4 percent slopes
- 325B Dresden silt loam, 2 to 4 percent slopes
- 329A Will loam, 0 to 2 percent slopes
- 356 A Elpaso silty clay loam, 0 to2 percent slopes
- 488A Hooppole loam, 0 to 2 percent slopes
- 527C2 Kidami loam, 4 to 6 percent slopes, eroded

LIST OF MAP UNITS

SOIL INTERPRETATIONS – Small Commercial Buildings

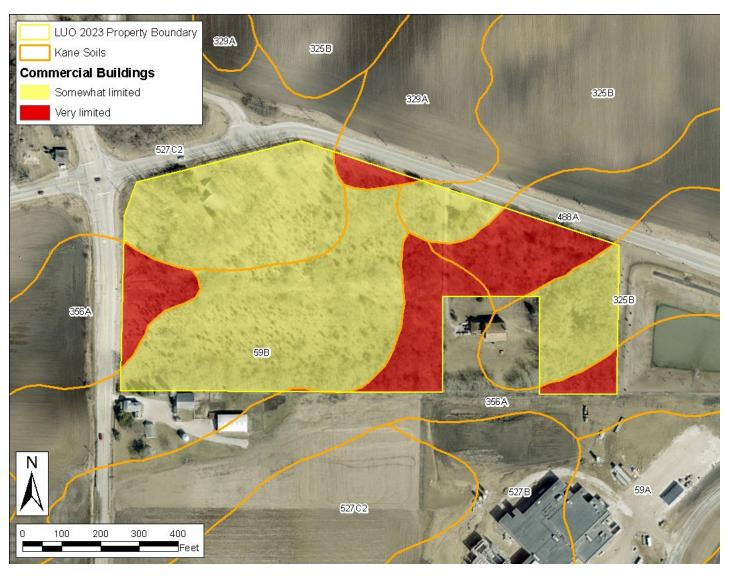


Figure 12: Soil Interpretations for Small Commercial Buildings

Small commercial buildings are structures that are less than three stories high and do not have basements. The foundation is assumed to consist of spread footings of reinforced concrete built on undisturbed soil at the depth of maximum frost penetration.

The ratings are based on the soil properties that affect the capacity of the soil to support a load without movement and on the properties that affect excavation and construction costs. The properties that affect the load-supporting capacity include depth to water table, ponding, flooding, subsidence, linear extensibility, and compressibility. Compressibility is inferred from the Unified classification of the soil. The properties that affect the ease and amount of excavation include flooding, depth to a water table, ponding, slope, depth to bedrock, hardness of bedrock, and the amount and size of rock fragments. **The high-water table is often a limiting factor in Kane County.**

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

SOIL INTERPRETATIONS – Shallow Excavations

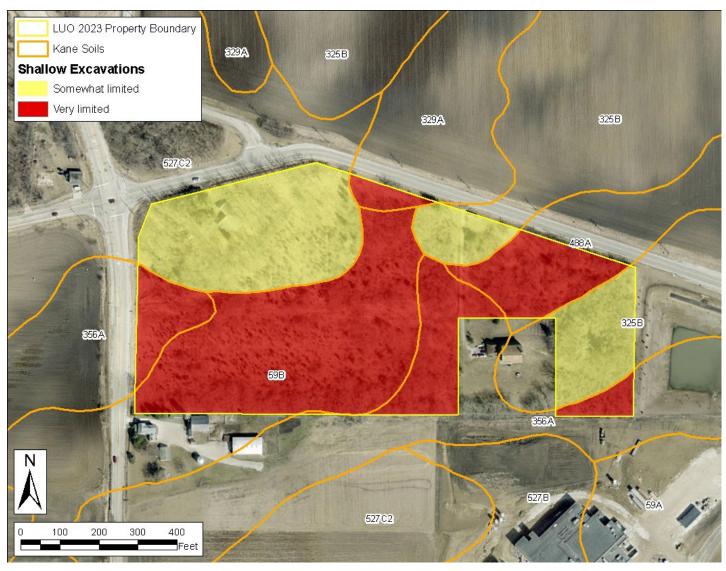


Figure 13: Soil Interpretations for Shallow Excavations

Shallow excavations are trenches or holes dug to a maximum depth of 5 or 6 feet for graves, utility lines, open ditches, or other purposes. The ratings are based on the soil properties that influence the ease of digging and the resistance to sloughing. Depth to bedrock, hardness of bedrock, the amount of large stones, and dense layers influence the ease of digging, filling, and compacting. Depth to the seasonal high-water table, flooding, and ponding may restrict the period when excavations can be made. Slope influences the ease of using machinery. Soil texture, depth to the water table, and linear extensibility (shrink-swell potential) influence the resistance to sloughing. The high-water table is often a limiting factor in Kane County.

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

SOIL INTERPRETATIONS – Local Roads and Streets

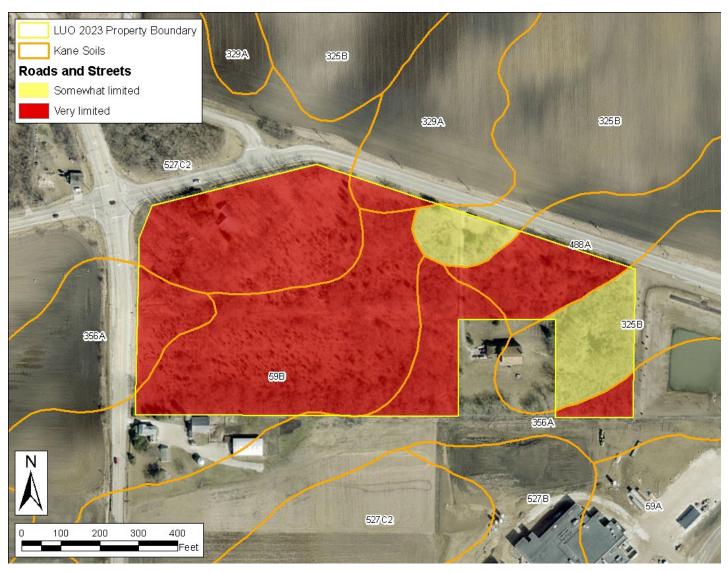


Figure 14: Soil Interpretations for Local Roads and Streets

Local roads and streets have an all-weather surface and carry automobile and light truck traffic all year. They have a subgrade of cut or fill soil material; a base of gravel, crushed rock, or soil material stabilized by lime or cement; and a surface of flexible material (asphalt), rigid material (concrete), or gravel with a binder.

The ratings are based on the soil properties that affect the ease of excavation and grading and the traffic-supporting capacity. The properties that affect the ease of excavation and grading are depth to bedrock or a cemented pan, hardness of bedrock or a cemented pan, depth to a water table, ponding, flooding, the amount of large stones, and slope. The properties that affect the traffic-supporting capacity are soil strength (as inferred from the AASHTO group index number), subsidence, linear extensibility (shrinkswell potential), the potential for frost action, depth to a water table, and ponding. **The high-water table is often a limiting factor in Kane County.**

Areas not shaded represent NOT LIMITED, and good performance and very low maintenance can be expected. Yellow represents SOMEWHAT LIMITED, and fair performance and moderate maintenance can be expected. Red represents VERY LIMITED, and poor performance and high maintenance are to be expected.

See the preceding **Soils Section** for more information concerning soil limitations.

WATER TABLE

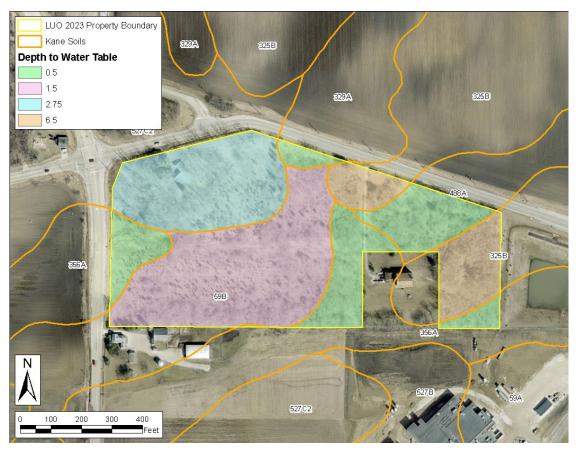


Figure 15: Map showing the depth to a seasonal high-water table

A seasonal high-water table, or the depth to a zone saturated with water in the soil during the wet season (typically spring through early summer), is present in most soils in Kane County, as it is in much of Illinois. The relatively low relief and flat landscape of the region slows the dissipation of water from the soil. This saturated zone fluctuates throughout the year and is closer to the surface in the spring and drops to deeper levels during summer and fall. Soils that are lower on the landscape are generally wetter than those soils higher on the landscape or on more sloping landscape positions. Some soils, especially those in landscape depressions and low-lying areas, have a water table above the soil surface. Water that occurs above the soil surface is considered "ponded" water. Ponding is different from flooding, as the water in ponded areas comes from water rising from below the soil surface or from runoff from adjacent areas. Flooding comes from the overflow of water from rivers and streams.

The duration of the seasonal high-water table may have been altered by artificial drainage systems,

especially those areas in cropland or former cropland. Even when soils are artificially drained, they will likely retain wet characteristics and the wetness will be difficult to eliminate entirely. However, artificial drainage may shorten the duration of the seasonal high-water table.

The wetness from the seasonal high-water table is a limiting property of the soil for many uses, especially homesites with or without basements, septic absorption fields, commercial buildings, and roads and streets. Most sites that are zoned for construction will require improved drainage, sump pumps, foundation drains, and other management practices to reduce the wetness. Any change to the natural drainage of the site has the potential to create flooding issues downstream from the site, so use caution in installing drainage systems.

The Soil Survey indicates a seasonal high-water table at a depth of 0.5 to 1.0 feet of the soil surface during the spring and early summer in most years, on the wettest soils of the site.

HYDRIC SOILS

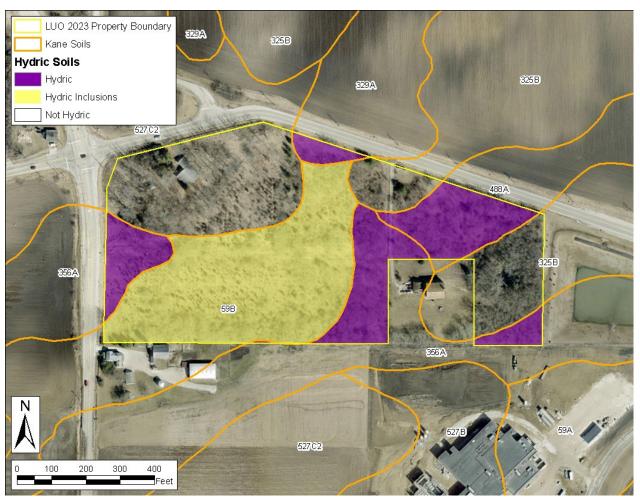


Figure 16: Hydric Soils map

Hydric Soils are wet soils that have a water table near the surface or above the surface, mostly in the spring and summer. The wetness is often a result of being on a lower position on the landscape. Many areas of hydric soils have been altered by artificial drainage systems. Even though they may have artificial drainage, they are still considered to meet the definition of a hydric soil. Although not all hydric soils are considered wetlands, hydric soils are a component of wetlands.

Even when hydric soils are artificially drained, they will likely retain wet characteristics and the wetness will be difficult to eliminate entirely. However, artificial drainage may shorten the duration of the seasonal high-water table. Most sites will require improved drainage, sump pumps, and other management practices to reduce the wetness. Any change to the natural drainage of the site has the potential to create flooding issues on and adjacent to the site, so use caution in installing drainage systems.

Some hydric soils are dominated by organic material (peat or muck) instead of mineral soil material and are not suitable construction sites, because of the low strength of the organic deposits. **Organic soils are extremely difficult to modify for other uses. Organic soils have been identified on this site.**

Hydric inclusions are small areas (inclusions) of hydric soils in the lower positions of a landscape dominated by higher, nonhydric soils and these inclusions are not identified on the soil map, given the map scale. However, hydric inclusions may still have a significant impact on your site.

The Soil Survey indicates that hydric soils or soils with hydric inclusions are on this site. A certified wetland determination may be needed prior to any earth disturbing activities. The KDSWCD recommends contacting the proper regulatory agencies shown near the end of this report.

PRIME FARMLAND – LAND EVALUATION & SITE ASSESSMENT

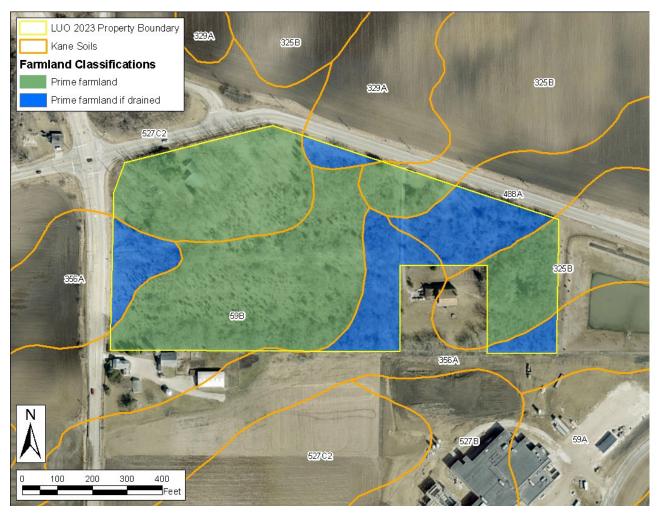


Figure 17: Prime Farmland map

Prime Farmland is a designation assigned by the U.S. Department of Agriculture defining land that has the best combination of physical and chemical characteristics for producing food, feed, forage, fiber, and oilseed crops and is also available for these land uses. The Prime Farmland designation is assigned to each soil map unit.

In addition to Prime Farmland, there is Farmland of Statewide Importance (Important Farmland). Important Farmland is designated for soils that are slightly outside the definition of Prime Farmland. Prime and Important Farmland are valuable for Kane County agriculture, ag industry, and county tax base.

In order to protect the best farmland, a Land Evaluation and Site Assessment (LESA) system was developed and adopted by Kane County in 2003. LESA is designed to determine the quality of land for agricultural uses and to assess a site for long term agricultural economic viability. The LESA is a 100-point maximum numerical value based on two parts – Land Evaluation (LE) and Site Assessment (SA). The LE is based upon the inherent ability of the soils of a parcel to produce commonly grown crops. The LE counts as 1/3 of the total score. The SA is a value based on the proximity of the parcel to agricultural areas. Parcels further from developed areas rank higher for protection. The SA counts for 2/3 of the LESA score.

The LE value for this site is 29 and the SA value is 39 for a total LESA score of 69. This score represents Low Protection effort warranted.

REGULATORY INFORMATION

23-012

Wetlands, Rivers, Streams, and Other Waters: The laws of the United States, the State of Illinois, and local governments assign certain agencies specific and different regulatory roles to protect the waters within their jurisdictional boundaries. These roles include protection of navigation channels and harbors, protection against floodway encroachment, maintenance and enhancement of water quality, protection of fish and wildlife habitat, and protection of recreational resources. Unregulated use of waters could permanently destroy or alter the character of these valuable resources and adversely impact the public. Contact the proper regulatory authorities when planning any work associated with floodplains, wetlands, or other waters so that proper consideration and approval can be obtained.

Wetland and/or Floodplain Permit: Anyone proposing to dredge, fill, riprap, or otherwise alter the banks or beds of a floodplain or floodway; or construct, operate, or maintain any dock, pier, wharf, sluice, dam, piling, wall, fence, utility of a lake, stream, or river subject to federal, state, or local regulatory jurisdiction should apply for agency approvals.

Construction Permit: Anyone disturbing an acre or more of land during proposed construction activities should apply for the NPDES General Construction Permit ILR10. Building and stormwater permits should also be obtained locally from municipal government and/or Kane County.

REGULATORY AGENCIES

Wetlands, Floodplains, Streams, & Other Waters:

U.S. Army Corps of Engineers, Chicago District, 111 North Canal Street Chicago, IL 60606-7206 (312) 353-6400 http://www.lrc.usace.army.mil/

Kane County Water Resources Division

719 Batavia Avenue Geneva, IL 60134 (630)232-3400 https://www.countyofkane.org/FDER/Pages/environ mentalResources/waterResources.aspx

Illinois Department of Natural Resources, Office of Water Resources 2050 W. Stearns Road

2050 W. Stearns Road Bartlett, IL 60103 (847)608-3100 https://www.dnr.illinois.gov/WaterResources/Pages/ PermitPrograms.aspx

NPDES General Construction Permit ILR10

Illinois Environmental Protection Agency, Division of Water Pollution Control 1021 North Grand Avenue East P.O. Box 19276 Springfield, Illinois 62794 (217)782-0610 https://www2.illinois.gov/epa/topics/forms/waterforms/Pages/default.aspx The KDSWCD recommends early coordination with the

regulatory agencies BEFORE finalizing work plans. This allows the agencies to recommend measures to mitigate or compensate for adverse impacts. Also, the agency can make possible environmental enhancement provisions early in the project planning stage. This could reduce time required to process necessary approvals. Please be advised that failure to coordinate with regulatory agencies could result in project shut down, fines and/or imprisonment.

STATE AGENCIES

Illinois Department of Natural Resources

1 Natural Resources Way Springfield, Illinois 62702-1271 (217)782-6302 http://dnr.state.il.us/

Illinois Department of Transportation

2300 South Dirksen Parkway Schaumburg, Illinois 62764-0001 (217)782-7820/(800)452-4368 http://www.idot.illinois.gov/

Illinois Environmental Protection Agency

1021 North Grand Avenue East P.O. Box 19276 Springfield, Illinois 62794-9276 (217)782-3397 http://www.epa.state.il.us/

Illinois Natural History Survey

1816 South Oak Street MC652 Champaign, Illinois 61820 (217)333-6880 http://www.inhs.uiuc.edu/

COUNTY / LOCAL OFFICES

Kane County Government Center 719 South Batavia Ave. Geneva, IL 60134 (630)232-3400

http://www.countyofkane.org/

Kane County Development Department

(630)232-3492

Kane County Dept. of Environmental Management (630)208-5118

Kane County Forest Preserve District

1996 South Kirk Road, Suite 320 Geneva, IL 60134 (630)232-5980 forestpreserve.countyofkane.org

Kane County Health Department

1240 North Highland Avenue Aurora, IL 60506 (630)208-3801

Kane-DuPage Soil and Water Conservation District

2315 Dean Street Suite 100 St. Charles, Illinois 60175 (630)584-7960 ext. 3 FEDERAL AGENCIES

CONTACTS

U. S. Army Corps of Engineers

Regulatory Branch 231 S LaSalle Street, Suite 1500 Chicago, Illinois 60604 (312)846-5330 http://www.usace.army.mil

U.S. Environmental Protection Agency

Region 5 77 West Jackson Boulevard Chicago, Illinois 60604 (312)353-2000 or (800)621-8431 http://www.epa.gov/region5/

U.S. Fish & Wildlife Service

Chicago Illinois Field Office 230 South Dearborn Suite 2938 Chicago, IL 60604 (847)298-3250 http://www.fws.gov/

U.S.D.A. Natural Resources Conservation Service

2315 Dean Street Suite 100 St. Charles, Illinois 60175 (630)584-7960 ext. 3 http://www.il.nrcs.usda.gov/

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Berg, Richard C, Aquifer Sensitivity Classification for Illinois Using Depth to Uppermost Aquifer Material and Aquifer Thickness, Cir. 560, 2001, Illinois State Geological Survey

https://isgs.illinois.edu/maps/county-maps/aquifersensitivity/kane Authors: William S. Dey, Alec M. Davis, B. Brandon Curry

County of Kane. Kane County 2040 Green Infrastructure Plan. Adopted December 10, 2013.

Dey, W.S., A.M. Davis, and B.B. Curry, 2007, Aquifer Sensitivity to Contamination, Kane County, Illinois: Illinois State Geological Survey, Illinois County Geologic Map, ICGM Kane-AS.

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Illinois Department of Natural Resources, Illinois Natural History Survey, Land Cover of Illinois in the Early 1800s., Vector Digital Data, Version 6.0, August, 2003.

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Kane County Development Dept., Kane-DuPage Soil & Water Conservation District, US Dept of Agriculture Natural Resources Conservation Service. Kane County Land Evaluation and Site Assessment, December 2003, Kane County's Wetlands and Streams Advanced Identification (ADID) Study completed in 2004.

Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at the following link: <u>https://websoilsurvey.sc.egov.usda.gov/</u>. Accessed on the date of this report.

U.S. Dept. of Homeland Security, Federal Emergency Management Agency, National Flood Insurance Program, Q3 Flood Data, 2011.

U.S. Dept of the Interior, Fish and Wildlife Service, National Wetlands Inventory, Photo Year 1983- 1984, Digitized 1985-1986.

U.S. Geological Survey, Illinois Digital Orthophoto Quadrangles, 2006 photos, Published: Champaign, Illinois State Geological Survey, 2006.

Base Layer Credits: Source: ESRI, DigitalGlobe, GeoEye, Easthstar Geographics, CNES/Airbus DS, USDA, USGS, AEROGrid, IGN and GIS User Community

EXECUTIVE SUMMARY APPLICATION 23-012 March 28, 2023

Petitioner: James Condon & Associates, 5415 Business Parkway, Ringwood, IL 60072

Contact Person: James Condon, 815-728-0068

Unit of Government Responsible for Permits: Village of Hampshire

Acreage: 14.37

Area of Disturbance (acreage): 3.84

Location of Parcel: Section 13, Township 42N, Range 6E

Property Address/PIN#: #01-13-200-012 located at 44W459 Big Timber Road, in Hampshire, IL.

Existing Land Use: Agriculture

Proposed Land Use: M2, Hwy Commercial, B3 and B4

NATURAL RESOURCE CONCERNS

Land Cover in the Early 1800's: This site is in an area previously identified as forest. (See page 5 for more information.)

<u>Kane County Green Infrastructure Plan</u>: There are no priority areas from the "Kane County 2040 Green Infrastructure Plan" on this site. (See **page 6**.)

<u>Wetlands</u>: The National Wetland Inventory map and the ADID wetland map identify wetland areas on this site. If there are any indications of unidentified wetlands on this site, noticed during the proposed land use change, contact the appropriate county and federal wetland regulatory agencies (**page 25.**)

Floodplain: There are no floodplain areas identified on this site. (See page 10.)

Streams: There are no streams on this site. (See page 11.)

Aquifer Sensitivity: This site is classified as having a low potential for aquifer contamination. (See page 12.)

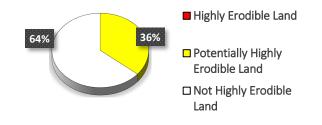
<u>Topography and Overland Flow</u>: The high point of this property is in the western portion of the site at an elevation of approximately 962 feet above sea level. The property generally drains to the east via overland flow. The lowest elevation on the property is approximately 934 feet above sea level. (See **page 13** for information regarding site topography and drainage.)

<u>Stormwater Management</u>: This site may or may not need a Stormwater Pollution Prevention Plan (SWPPP). Contact the KDSWCD for questions or assistance in developing a SWPPP. See **page 14** for information regarding stormwater management.

<u>Soil Erosion</u>: Many construction sites are required to develop and follow a Stormwater Pollution Prevention Plan (SWPPP) in order to be in compliance with local, state, and federal laws regarding soil erosion and stormwater management. Contact the KDSWCD for questions or assistance in developing a SWPPP. (See **page 14**)

EXECUTIVE SUMMARY APPLICATION 23-012 March 28, 2023

Highly Erodible Land: There are Potentially Highly Erodible Land identified on this site. (See page 15.)

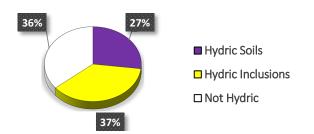


<u>Regulations</u>: Please note that additional permits are required for any development impacting wetlands, streams, or floodplain areas. (Please see **page 25** for regulation information.)

<u>Soil Interpretations</u>: Soils at this site may contain limitations for the proposed use. All information is from the Soil Survey of Kane County, Illinois. The limiting factors for this site are: **seasonal high-water table, shrink-swell, low strength, ponding, frost action.** (See **page 16** and attached <u>Soils Tables</u> on **page 18**.)

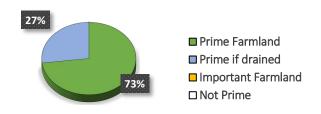


Hydric Soils: There are hydric soils and soils with hydric inclusions identified on this site. (See page 23)



EXECUTIVE SUMMARY APPLICATION 23-012 March 28, 2023

Prime Farmland: Prime and Important Farmland occur on this tract.



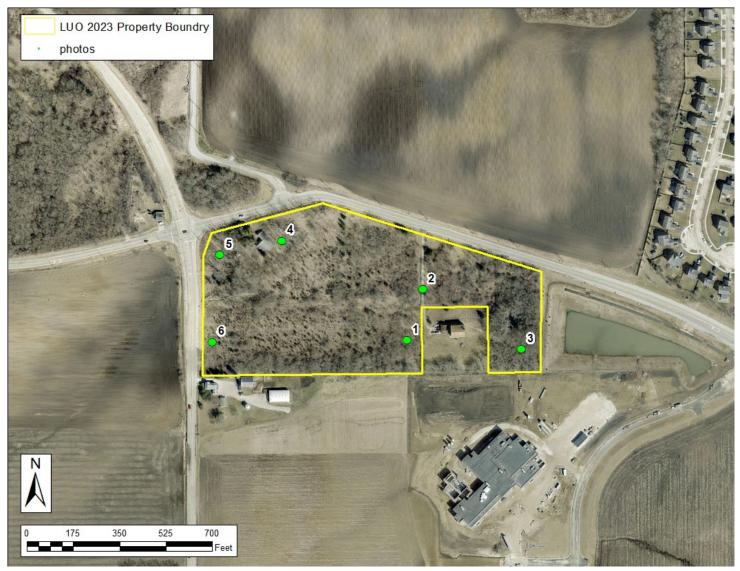
LESA: Sites with a LESA score of 85 or greater are considered to warrant protection. This site has an LE score of 29, and a SA score of **39**, with a total of **69**, placing it in the Low protection category for farmland. (See **page 24** for more information.)

LAND USE OPINION

The most current natural resource data indicates the following concerns for this site: Wetlands, Soil Limitations, High-water Table, Soil Erosion and Sediment Control, and Stormwater Management. These concerns need to be managed, monitored, and/or considered in the planning and development of the site for the best possible results and for the least negative impact to the environment and natural resources.

Based upon the LESA score and the Kane County Land Evaluation and Site Assessment, this tract warrants **Low** Protection effort from development.

Based on the information in this report, it is the opinion of the Kane-DuPage Soil and Water Conservation District Board that this site **is somewhat suited** for the proposed land use change.



SITE INSPECTION

Figure 18: Location of site inspection photos

A site inspection was conducted by **Resource Analyst, Becky Monreal** on **March 24th, 2023**. The following photos were taken during this inspection and reflect the site conditions at that time.



Photo 1 facing North



Photo 3 facing West



Photo 5 facing West



Photo 2 facing North



Photo 4 facing West



Photo 6 facing East